



Appendix 7

DRAFT PLANNING GUIDANCE

Callander South Masterplan Framework

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Introduction

This consultative draft guidance provides information on how the land to the south of Callander should be developed. The guidance is aimed at landowners, applicants/agents, developers, architects, as well as members of the public. The purpose of the document is to provide guidance on:

- the details to be considered in preparing design documents to be submitted alongside future planning applications for proposed development in the Callander South area
- when planning obligations may be required and what for

AND

- a steer to how future planning applications should be assessed for this area

This planning guidance is one of a series that supports policies in the **Proposed Plan** and it is a material planning consideration in determining planning applications. This guidance should be read in conjunction with the **Proposed Plan**. It should be noted that contributions towards affordable housing is set out in the **Supplementary Guidance on Housing Development**.



The role of the Callander South Masterplan Framework

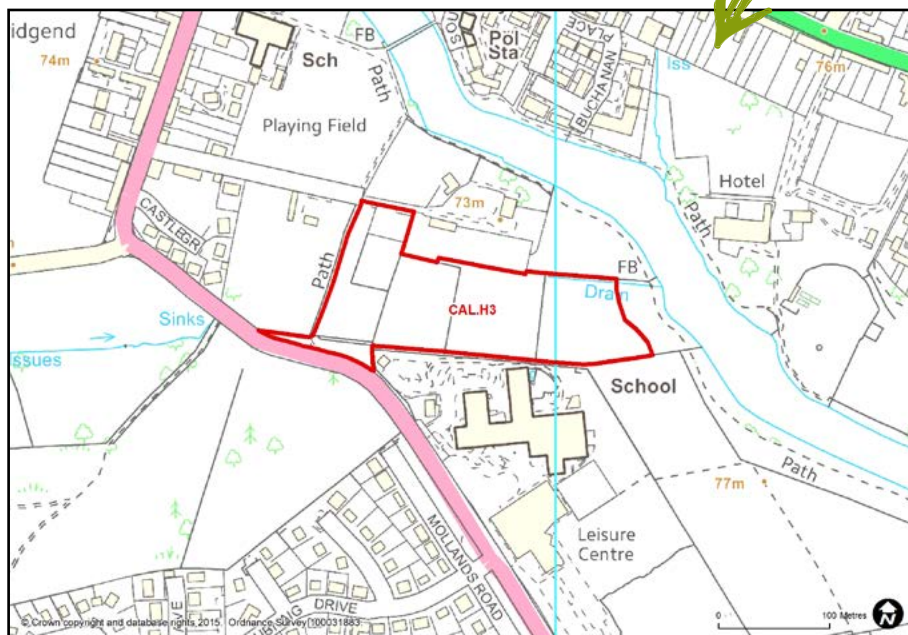
Section

1

The role of the Callander South Masterplan Framework

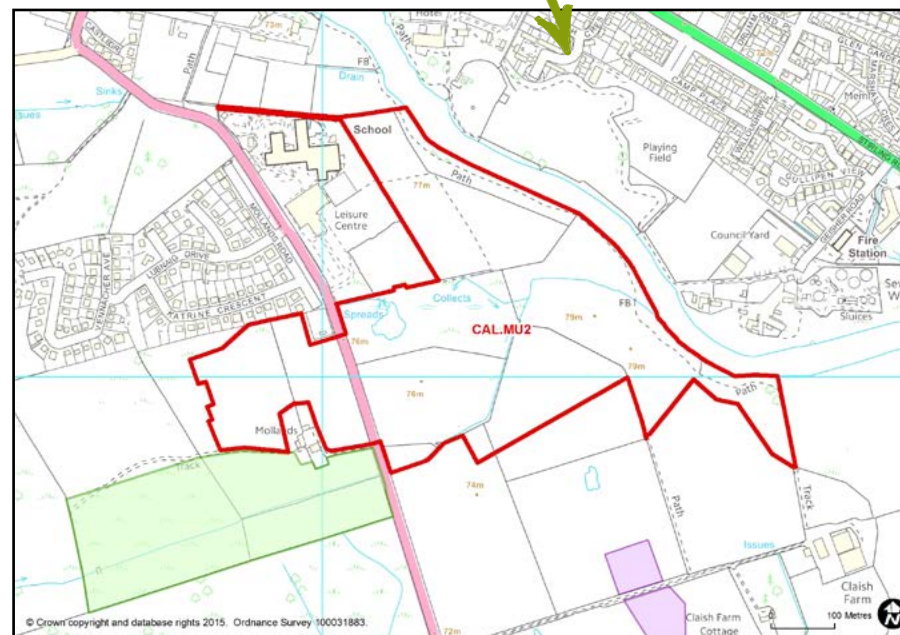
Callander is the main eastern gateway into the National Park and Highlands.

Callander South includes two land holdings



Churchfields

Callander South represents the largest land release for future development in the National Park for the foreseeable future. Callander South includes two land holdings at Claish Farm and Churchfields. The role of the master plan framework is to guide and co-ordinate future planning applications in this area whilst considering the numerous development factors which have to be juggled to deliver the Local Development Plan Vision.



Claish Farm

Any proposed development in the Claish Farm site will require a masterplan to follow this framework whereas the Churchfield site will require a design and access statement to follow this framework. This framework will form Planning Guidance following the adoption of the Local Development Plan and will be a material consideration in the assessment of future planning applications in the Callander South area.

**How did we get here?
The journey so far...**

Section

2

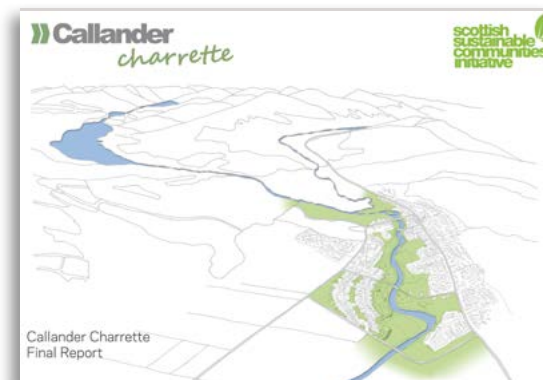
How did we get here?

The journey so far...

The Callander South Masterplan Framework has evolved from the 2011 Callander Charette, our Main Issues Report consultation, Additional Sites Report consultation and the Callander South Masterplan Workshop of 2014.

The Charrette was a Community led collaboration with landowners and their agents, community organisations, key agencies, Stirling Council and the National Park Authority. It identified a future Vision for Callander and a direction for growth for the whole of Callander including various key initiatives, some of which have already been successful such as a new use for St Kessog's and public realm improvements have been delivered on Main Street.

Following on from the charette, the design principles and priorities outcomes were issued as formal planning guidance in 2012 and the Community Action Plan was updated. Moving the development vision into the formal planning documents, we published two public consultations last year; the Main Issues Report and Additional Sites Report which highlighted the specific development sites throughout Callander. Reflecting the consensus established at the Charrette, there was general support for the sites identified. Finally there was a Callander South Workshop at the end of 2014 which focused solely on the southern part of Callander and discussed ideas on how to progress and support future growth.



Proposed development

Section

3

Proposed development

Housing site at Churchfields:

30 homes (indicative number)

Mixed Use development at Claish Farm including:

90 homes (indicative number),
60-bed hotel, riverside park and walk,
community events space, outdoor
recreational centre, community heating
scheme and a longer term vision for
a bridge link across the River Teith.

Infrastructure requirements:

- Nursery and Primary Schools capacity – build rate of new homes will require to be restricted to match capacity or additional capacity supported by developer contributions
- Roundabout to access Claish Farm either side of the A81 public road
- Road access into Churchfields site
- Sustainable drainage systems at Claish Farm and Churchfields sites
- Safeguard long term bridge across River Teith at Callander East
- Local paths/routes for pedestrians and cyclists to ensure connectivity with existing public access networks and proposed
- Drainage and sewerage
- Car parking
- Riverside park
- Biodiversity enhancements to the landscape and Mollands Burn on Claish Farm site
- Landscaped gateway approach from south on Claish Farm site
- Natural sustainable drainage systems
- Natural flood mitigation measures
- Community heating scheme linked to leisure centre



*Housing site at
Churchfields:
30 homes
proposed*



*Mixed Use
development at
Claish Farm inc.
90 homes
& 60 bed hotel.*

Site characteristics - current status

Section

4

Site characteristics

- current status

A key part of any future planning application will be to have a site appraisal which assesses all the different factors existing in and around the site which will impact on the overall development layout and design.

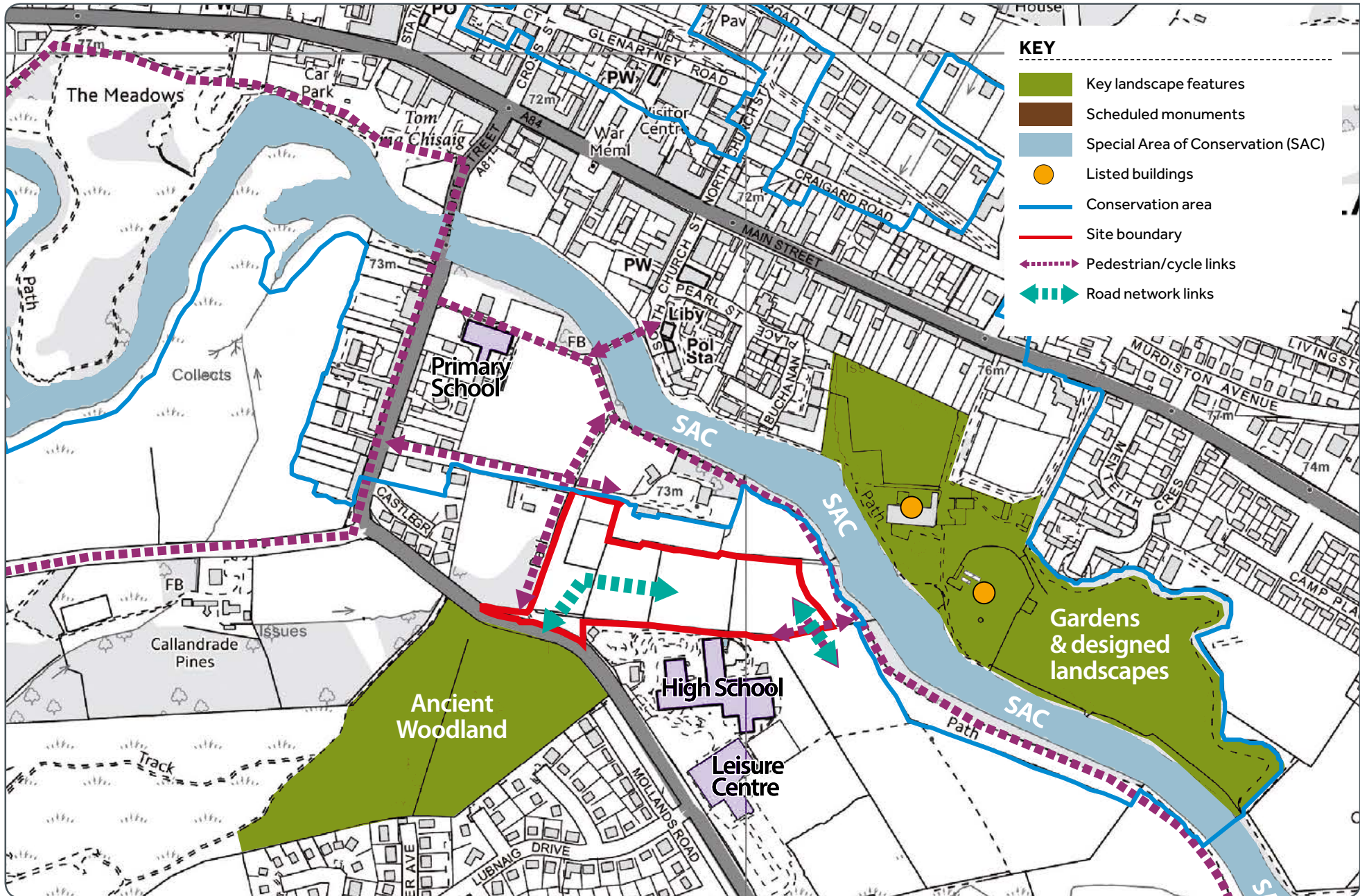
The points within this section highlight the existing baseline factors (i.e. not exhaustive) to be included within the site appraisal to be submitted alongside any future planning application to demonstrate compliance with the Local Development Plan.

What area do these sites cover?

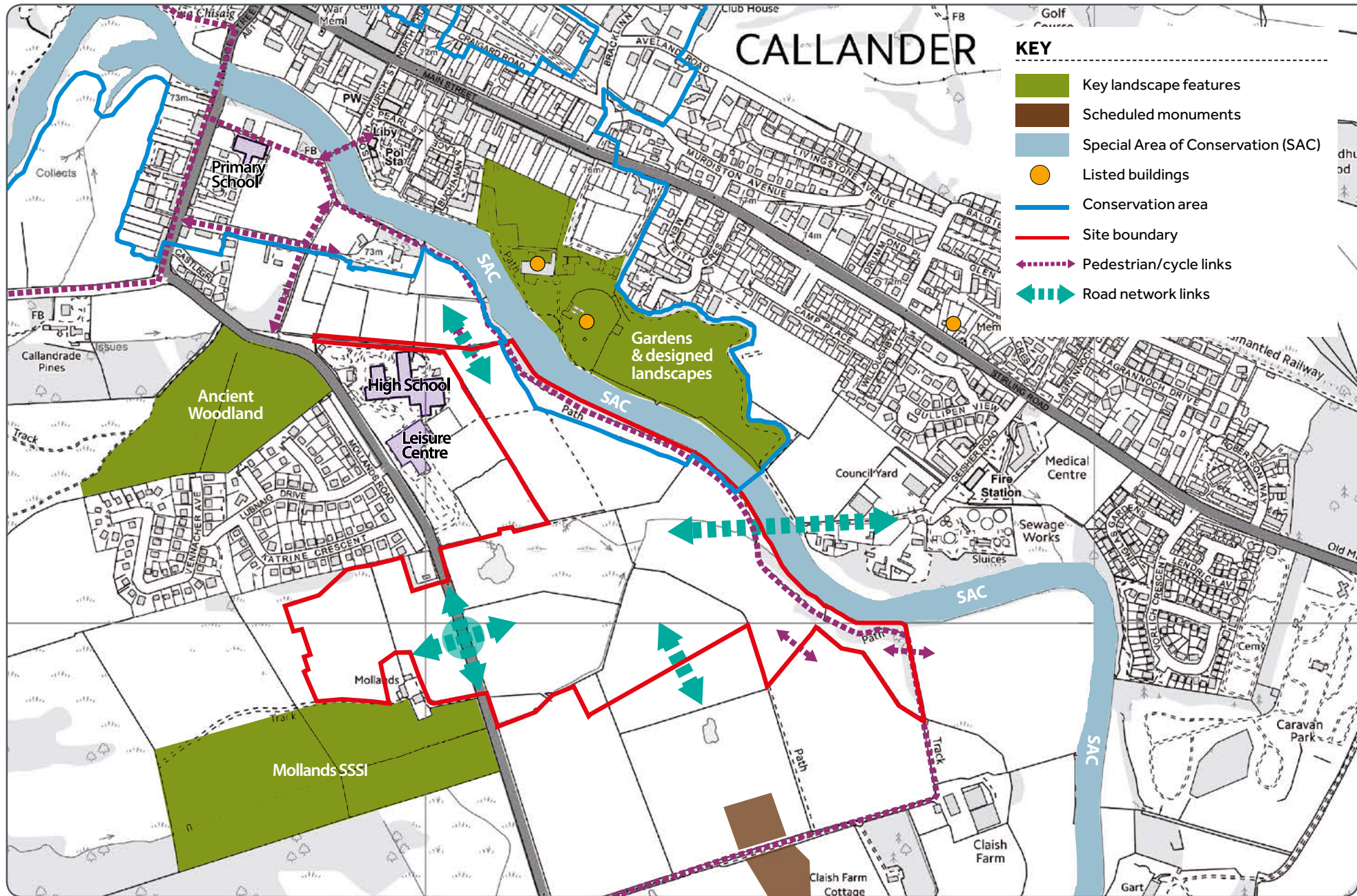
- Claiash Farm mixed use site **MU2** covers an area of **23.1Ha**
- Churchfields housing site **H3** covers **2.5Ha**
- The Claiash Farm long term site **LT2** is not proposed during the short term



Please see pages
12 - 14 for maps



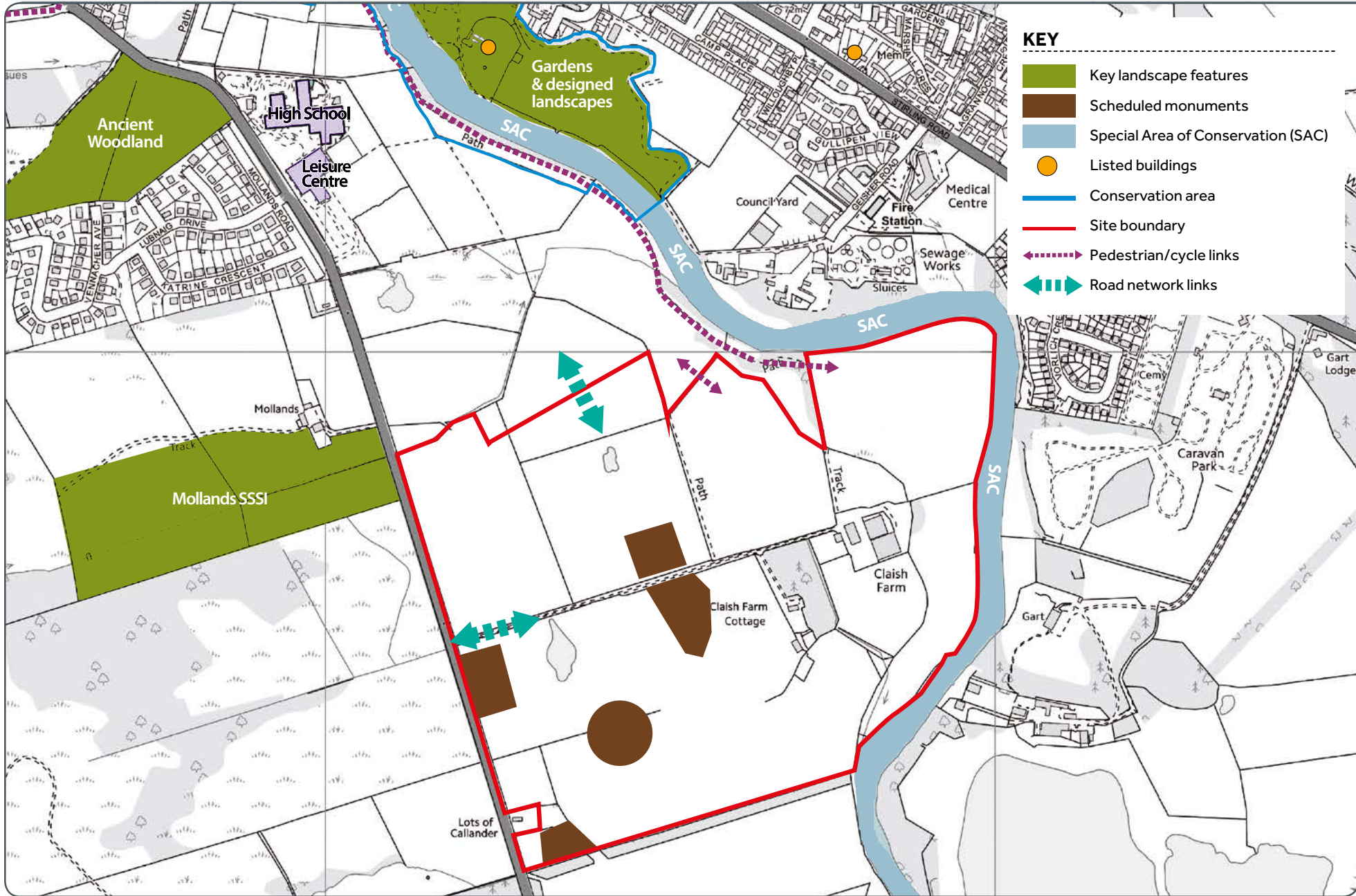
MU2 Claish Farm – Mixed Use: 90 Homes, 60-bed hotel, leisure & recreation, business, community heating scheme and open space



KEY

- Key landscape features
- Scheduled monuments
- Special Area of Conservation (SAC)
- Listed buildings
- Conservation area
- Site boundary
- Pedestrian/cycle links
- Road network links

LT2 Claish Farm – Long Term Mixed Use: housing, hotel, leisure & recreation, business, community heating scheme and open space



KEY

	Key landscape features
	Scheduled monuments
	Special Area of Conservation (SAC)
	Listed buildings
	Conservation area
	Site boundary
	Pedestrian/cycle links
	Road network links

Site characteristics

- current status

Both sites wrap around McLaren High School and Leisure Centre to the east side of the A81.

Location, location, location

There are a number of town centre shops, services and facilities (including convenience stores, post office and pharmacy) within 1,250m walking distance. Callander Primary School is northwest of Churchfields site with Callander Youth Project directly opposite the Primary school. Both sites wrap around McLaren High School and Leisure Centre to the east side of the A81. Regular bus services operate along main street and twice daily between the leisure centre/high school and town centre. There is no local provision of play facilities within adjacent housing developments.

A superb landscape

Callander has a special landscape setting by virtue of its dramatic natural backdrop and unique location straddling the Highland Boundary Fault. This geological feature runs through the area and offers a range of landmark features that give the town and the area its visual distinctiveness. These well known landmarks are; Ben Ledi, Callander Craggs, Ben Gullipen, Samsons Stone and Leny Park.

The town is located at the transition from the settled pastoral lowlands to the rugged wilder Highlands giving the appearance of it guarding a Gateway through the spectacular Pass of Leny. As a planned town Callander is linear in form with a well ordered and traditional character overall. This linear form has been influenced by the River Teith which runs through it and the distinctiveness of its built heritage has developed this tourist town from Victorian spa and railway times.

In addition several designed landscapes; Gart, Roman Camp, Cambusmore, Trean and Leny have recognisable landmark features which contribute to the wider scenery and pinpoint them in the landscape, woodland, parkland, wooded approaches and tall exotic conifers.

The appreciation of legibility and intervisibility of the area's landmarks are intrinsic to Callander's visual and scenic qualities. These features and the sense of place they generate are appreciable on the site through views in and out of the site and the adjacent areas of valuable landscape character.

Site characteristics - current status

Special landscape qualities and landscape character

An understanding of the landscape and visual baseline of the site; Special landscape qualities, landscape character and visual amenity is crucial to inform the design of the sites. References include; Special Landscape Qualities of Loch Lomond and The Trossachs National Park (2010); Landscape Character Assessment (2009) and Landscape Character Assessment review (2015). The Callander Landscape Capacity Study (2013) assesses the sites in terms of local landscape character, visual context and identifies important viewpoints.



Site characteristics

- current status

In the Capacity Study the site is divided into Claish Farm Plainland and Mollands Farmed Wooded slopes. These areas have broken down the larger landscape character types into local landscape character areas which better relate to the sense of place, local distinctiveness and how the landscape is experienced.

This baseline should be used to inform a full site appraisal of local landscape character and visual context of the site;

- land-cover and land-use; mixture of land-uses; wide level arable fields, smaller undulating pasture fields, unmanaged rush pasture, and, existing development; farm buildings and tracks on field boundaries.
- levels range from approximately 84m on the western boundary to approximately 68m on the eastern boundary of the Claish Farm site. The Claish Farm site has a gradual fall to the north east towards the River Teith. Slope angles generally range between 1 and 10 to 1 in 80 across the Claish Farm site. To the west of the A81, the land rises toward Coilhalla Wood. The Churchfields site is mainly level after sloping down from the A81.



Site characteristics

- current status

- landscape features include; a riparian zone along the River Teith, wooded knolls and eskers, wetland area, burns, ditches, individual trees; parkland and field boundary trees and hedges, estate gates and fencing.
- access and recreation include; existing paths; along riparian edge of river, path links to; the school, conservation area, leisure centre, pitches and designed landscapes.
- biodiversity on sites include; wetland habitats, riparian woodlands, hedgerows, field boundary trees, woodlands and parkland trees.
- cultural heritage includes; prehistoric sites, relict farmland, designed landscapes and scheduled monuments.
- visual and scenic qualities include; local visual features link to the wider town setting; river, woodland, riverside, conservation area and designed landscapes that are seen from higher ground and the southern approach to the town.



Site characteristics

- current status

Cultural identity below ground

Callander has significant archaeology. There are Scheduled Ancient Monuments (SAMs) within the long term Claish Farm site including a rare monument - Neolithic timber hall. There is a designated landscape on the opposite side of the River from Churchfields and Claish Farm sites in which there are further setting issues. There is farming evidence from medieval period showing different agricultural practices.

There are two potential adverse impacts on archaeology below ground with development; direct and indirectly through setting impacts. Careful consideration of potential direct impacts include impact:

- a) on hydrology which safeguards the archaeology, and
- b) directly from development on site.'

Water environment

River Teith is a Special Area of Conservation for Atlantic Salmon and lamprey; and runs adjacent to the eastern boundaries of Claish farm and Churchfields sites. The Mollands burn runs through the Claish Farm site into the River Teith and offers potential spawning areas for Salmon. Flooding occurs adjacent to the River Teith with surface water ponds forming on both sites, especially to the southern long term Claish Farm site. There are concerns over surface water drainage on site and limited capacity with sewerage treatment works (although Scottish Water own additional land adjacent to the treatment works which potentially could accommodate future capacity if required).



Photo showing 1in50yr Flood event (SEPA)



Photo showing 1in50yr Flood event (SEPA)



Biodiversity

The Claish Farm and Churchfields sites include a mosaic of woodland including riparian trees, scrub, hedges, individual specimen and field boundary trees. These natural assets should be used to enhance the drainage, water management, recreation and access provision for these sites through landscape design.

Existing path, cycle and public transport connections

There are numerous options for pedestrian and cycle routes in and around Callander. There is an immediate path adjacent to the western side of Churchfields site connecting the A81 to the pedestrian bridge which in turn provides easy access to school and nursery as well as South Church Street which is the direct route into town centre services and facilities. Bus stops are located along Main Street and Station Road car park. Transport Scotland and Stirling Council have confirmed that there is a limit in the capacity in the Main Street (A84) and Bridge Street (A81) junction. A capacity assessment of this junction confirmed that a limitation on development would be appropriate prior to a new road bridge being required for development beyond approximately 120 homes, a 60-bed hotel, activity centre and start-up business units. There are additional limitations with existing pedestrian and road bridges summarised below.

Site characteristics - current status

Education services

Stirling Council has confirmed that there are capacity constraints with Callander Nursery and Primary Schools, and that McLaren High School may require extension of existing playing fields to accommodate future growth. Primary school currently has capacity for 290 pupils and a current roll of 250 pupils. Phasing new housing development will be essential to ensure sufficient capacity without developer contributions required – e.g. approximately 15-20 new family homes a year. Otherwise developer contributions would be required to be agreed at the planning application stage in consultation with Stirling Council's Education services.

Note: Members of the community have road safety concerns of primary school kids accessing school along the A81 from town, especially with vehicle speeds, heavy goods vehicles traffic and limitations on road bridge.



Path adjoining western boundary of Churchfields site links pedestrian/cyclist from bridge/town centre towards McLaren High School and McLaren Leisure Centre



Callander Paths leaflet showing numerous walks in and around Callander. Paths run adjacent to and through Callander south sites



'Stories in the Stones' Callander Heritage Trail is an interesting walk around Callander to discover snapshots of the history and culture of Callander



Pedestrian footbridge links sites to town via South Church Street (of limited life span)



Road bridge along A81 is listed and is only capable of pedestrian access on western side of road



A81 potential road access point to Churchfield



A81 potential roundabout access point to Claish Farm and gateway approach from south

Development principles

Section

5

Development principles

Development principles are building on the site characteristics above and incorporating the measures below into the overall development brief and design.

Development will meet the criteria to create Successful places of:

1. Place-making,
2. Sense of Place/Distinctive
3. Adaptable,
4. Welcoming
5. Resource Efficient
6. Easy to move around and beyond.

Ecosystems Services Approach

Development will incorporate the **Ecosystems Services Approach** to add value to the overall development. Ecosystems planning is a strategy for the integrated management of land, water and living resources that encourages conservation and sustainable use of existing ecosystems. The natural and cultural assets that define an areas character can be effectively integrated into the design; cost effective, sustainable, reduce visual impact, improve flood management and long term management.

Green and blue assets relate to landscape character, heritage, sense of place and community spirit. Underpinning the multiple functions of green and blue assets is the concept of Ecosystem services.

By using the outcomes of detailed site appraisals submitted during the planning application stage, design will complement the existing natural and historic environmental assets on and surrounding the sites. Support advice is available from Scottish Natural Heritage and Scottish Environment Protection Agency for how best to adopt this approach (please see appendix 1) on how to integrate this approach early in the planning application process.

Development should maintain, restore, improve and enhance the benefits of existing ecosystems.



Development principles

Landscape

A full Landscape Appraisal should be provided along with any planning application assessing the likely landscape and visual effects of the proposed development; this would describe the existing landscape and visual baseline, the likely impacts, predict the effects how might they be mitigated as part of the wider site appraisal (as part of the design process) in order to iteratively design the whole site and its desired internal components.

This approach would integrate with an ecosystem approach where existing natural and semi-natural features and its scenic and visual qualities would inform the internal layout, axis and circulation and contribute to an ultimate sympathetic and integrated landscape design for the site. This approach would aid transparency, the consideration of options as well as the best opportunities for mitigation and enhancements.

The landscape appraisal should carry out an assessment of the development from agreed relevant landscape and visual receptors and at least include 3 contexts – long distance views (e.g. Ben Ledi, Callander Crag, public roads), middle distance views (designed landscape opposite side of river, local roads and core paths) and local views into and out from sites (e.g. Conservation Area, riverside, local road and adjacent core paths).

Development must demonstrate how proposed buildings will sit within the special landscape to maintain the character of the overall setting of Callander and to protect the special landscape qualities of the National Park. Existing landscape features can be incorporated throughout the site(s) making it easier to navigate. Features may be existing distinctive landscape assets, new landscape features or new architectural elements. It is important that proposed development on the Claish Farm site forms a well-considered layout and design to form the gateway approach from the south along the A81. Planting will also provide shelter from prevailing winds. The landscape design should be of high quality and in accordance with advice in the Place-making and Design Supplementary Guidance.

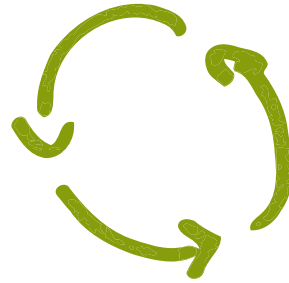
Movement

Development proposals will prioritise place before movement and shall demonstrate compliance with Scottish Governments 'Designing Streets - a policy statement for Scotland' and SCOTS guide in consultation with Stirling Council. Development layout will provide ease of movement into and out from sites with multiple connections for pedestrian, cyclist and vehicle users. Streets will be designed to prioritise pedestrian and cyclists above vehicle users, reduce vehicle speeds and accommodate a number of uses for roads within each site. Internal routes through the site will provide a welcoming, distinctive, safe and pleasant environment. The street hierarchy will maximise permeability.

An integrated network of routes will connect all areas of each site (including a riverside path), establishing hierarchy of pedestrian and cyclist priority streets. Road accesses will be from Glasgow Road. Street layout will incorporate SCOTS National Roads Development Guide to inform best choice of location of roads and bridges and preferable connections prioritised for pedestrians and cyclists. Design Manual for Roads and Bridges should also be adhered to in relation to roads and long term bridge with improved circulation around town.

Details should illustrate connections to leisure centre, Primary school, McLaren High school, town centre, core paths and cycle routes, new bus stop and extended bus route. Active Travel Plans should consider how to address potential closure of pedestrian bridge at southern end of South Church Street as well as how the street hierarchy accommodates future bus services through or adjacent to the sites. Shared surfaces will be provided where possible, and street design will reduce traffic speeds encouraging pedestrian priority.

Development principles



“By adopting the ecosystems service approach future development will work with and complement the natural environment.”

Natural Environment

Site appraisals to be submitted with future planning applications will identify the natural assets on site including habitats and species. There are opportunities for improvements to complement green and blue infrastructure with various landscaping measures to areas of open space, riverside park and path, and the Mollands burn (Note: see appendix 1 for contact details for support and advice). By adopting the ecosystems service approach future development will work with and complement the natural environment.

Drainage and flood risk

Details of Sustainable Drainage Systems (SuDS) will be required for both sites. A SuDS Strategy will provide for the required level of treatment of surface water prior to discharge to surrounding watercourses. SuDS will incorporate natural design solutions for the benefit of general amenity and biodiversity.

Details of how development on the west side of the A81 does not adversely impact the hydrology of the Mollands Site of Special Scientific Interest will require to be submitted alongside any future application at Claish Farm site.

A Flood Risk Assessment will require to be submitted alongside any future planning application for sites. The assessment will include natural mitigation measures to ensure future development is free from flooding and details of measures to address flood events including maintenance and repairs, especially areas of open space such as riverside park and riverside walk. Climate change adaptation measures would help address the medium to long term maintenance factors.

Historic Environment

Archaeology, Scheduled Ancient Monuments, Designed landscape – safeguards and mitigation measures should be built into the design and layout proposed. The Scheduled Ancient Monuments should be areas of open space and development layout should maintain their interrelationship/connections. A solution is for development layout to provide appropriate setting of SAMs and for design guidelines to indicate a small scale and low density the closer to the SAMs. The Historic Environment is also linked to the ecosystems approach. Detailed paths and modern art could be considered as ways of illustrating the historic environment on both sites.

Education

Callander Primary School has capacity constraints and there are projected peaks in provision in future. It is likely that additional provisions will be required depending on level of development and timing of development. Stirling Council will confirm at the point of future planning applications what is required from development proposals to help support necessary education provision.

Open space

There is great potential to have added value with open space provision on sites. The site appraisals will identify all of the existing natural assets on both sites and this can be developed to determine the best outcome for the natural environment and humans using the area. Areas of open space are linked to the ecosystems services approach, natural environment, sustainable drainage and flood risk comments above. Land should be made available to the south of the existing playing fields to accommodate an extension if required. The existing river walk adjacent to the River should become a formal pedestrian and cycle path suitable for disabled access for Claish Farm and Churchfield sites.

Areas of open space should consider how best to include green infrastructure to complement existing hedgerows and trees to support biodiversity and for the enjoyment of future residents, visitors and employees. Open space should be located to the fronts of buildings to accommodate natural surveillance and feeling of safety. Development should include public art and furniture in areas of open space.



Indicative sketch drawing only (Geddes Consulting)

Design of buildings and low carbon development

New buildings should be built using a range of materials and details to create a quality neighbourhood with its own clear identity and sense of place. The scale and density of different types of buildings (homes, hotel, start-up business units, and a recreation activity centre) should consider the impact setting on the landscape, scheduled ancient monuments, conservation area and designed landscape. Buildings should be orientated to achieve passive solar design and roves designed to be able to incorporate renewable technologies.

Housing

A variety of different house types, tenures and sizes should be provided on Claish Farm and Churchfields sites; especially smaller homes and family homes. This variety will provide visual interest and be sensitive to the various environmental designations nearby. Sites will provide a minimum of 33% affordable housing.

Claish Farm Mix of land uses and phasing

Indicative sketch layout plan of proposed development showing proposed phasing of the Claish Farm site, how the sites connect (Churchfields, Claish Farm and Claish Farm long-term) and the different types of land uses is required as part of the masterplan to be submitted at the planning application stage.

Masterplan details should provide a distinctive southern gateway approach along the A81 and the roundabout. An outdoor recreation centre should be considered as a core activity hub. This may include a range of outdoor pursuits and should not affect the amenity of the locality. There is potential for the activity centre to integrate with McLaren Leisure Centre as complimentary uses.

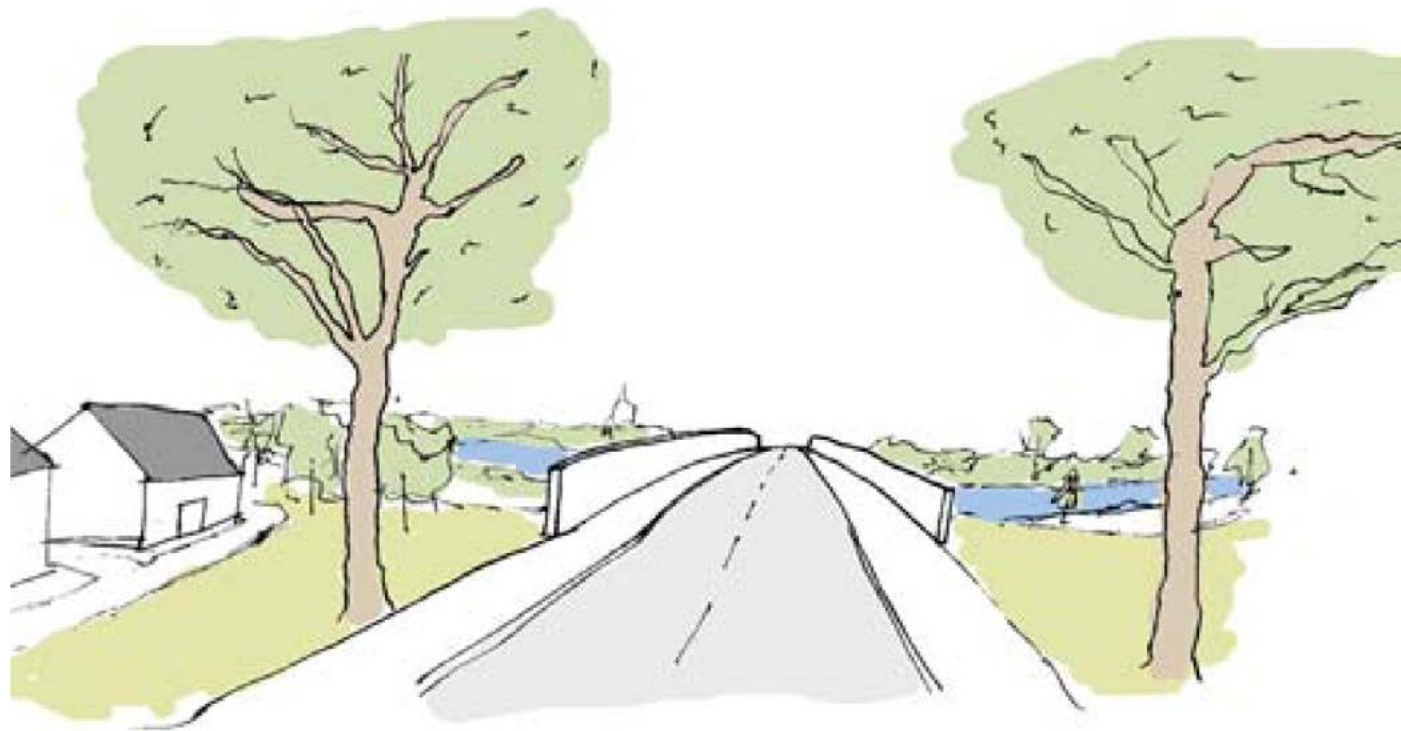
A Riverside Park should form a principle element of the greenspace network and should include a pedestrian and cycle route along the River Teith which is disabled compatible. Development may require an additional sports pitch at the McLaren Leisure Centre to meet future growth of the High School and this can be confirmed at the planning application stage. This should be incorporated if required. Mollands burn which runs through the site offers a strong foundation for both biodiversity and public amenity space. Improvements to this burn would provide species rich habitat for wildlife.

*Sites will provide
a minimum of*
33%
affordable housing

Long term bridge route

Safeguard route for bridge crossing connecting access towards Geisher Road via the Lagrannoch Industrial Estate from Claish Farm site. The potential bridge crossing points on both sides of the River should be safeguarded.

All housing developments in Callander will be required to contribute to strategic infrastructure improvements over the Plan period of which would include contributing towards funding the long term bridge option.



Indicative sketch drawing only (Geddes Consulting)

Delivering development

Section

6

Delivering development

Phasing of development

Ideally a single developer would submit a single planning application for Churchfields and Claish Farm sites together. In reality it is more likely that separate applications would be submitted at different stages for Churchfields and Claish Farm sites, with potentially several applications for Claish Farm site. The initial application for Churchfields site must show how the site relates to; the Churchfields site with a minimum pedestrian/cycle path connection, pedestrian bridge, active travel plan to town centre, nearby schools and leisure centre.

The initial application for the Claish Farm site must provide; **to do*

- 1. an indicative layout of the whole site showing types and location of development and phasing of development that clearly shows how it is designed to integrate and function with the existing landscape
- 2. an active travel plan in relation to pedestrian/cycle access to nearby schools and leisure centre, town centre, pedestrian bridge and future road bridge and public bus access including bus stop(s) existing and proposed.

In order to still achieve a co-ordinated and joined up approach, a Design and Access Statement will be required for Churchfields site and a Masterplan for the Claish Farm site; both in line with this masterplan framework.

These should be submitted alongside any future planning application when the finer details of proposed development will become available.

Pedestrian bridge

The current pedestrian bridge is a great resource for Callander residents accessing schools, leisure centre and town centre. The pedestrian bridge is of a limited lifespan (short to medium term). With the existing limitations of the existing road bridge (A81) there are concerns over the safe route to schools, leisure centre and town shops and facilities. Active Travel Plans submitted alongside future planning applications will need to consider how these road safety concerns will be addressed (especially with the potential closure of the pedestrian bridge and increased use from proposed developments).

Education

Callander Primary School has capacity constraints and depending on the time and level of development additional capacity may be required. Developers should clarify the extent of potential contributions at the pre-application stage in consultation with the Parks Development Management team and Stirling Council's education team.

** layout of the whole site*

** active travel plan in relation to pedestrian/cycle access*

*A long term bridge will
be required at Callander East*

Road access

Road access will be taken from the A81 public road. Churchfields site is likely to require a T-junction whereas the Claish Farm site is likely to require a roundabout to access both sides of the A81. These will be factored into the developer costs at the planning application stage.

Public transport

Development proposals will submit an Active Travel Plan as part of their planning application. It is likely given the extent of development to Callander South that a bus stop will be required on the Claish Farm site. Contact during the pre-application stage should confirm this in consultation with Stirling Council.

Maintenance of communal areas

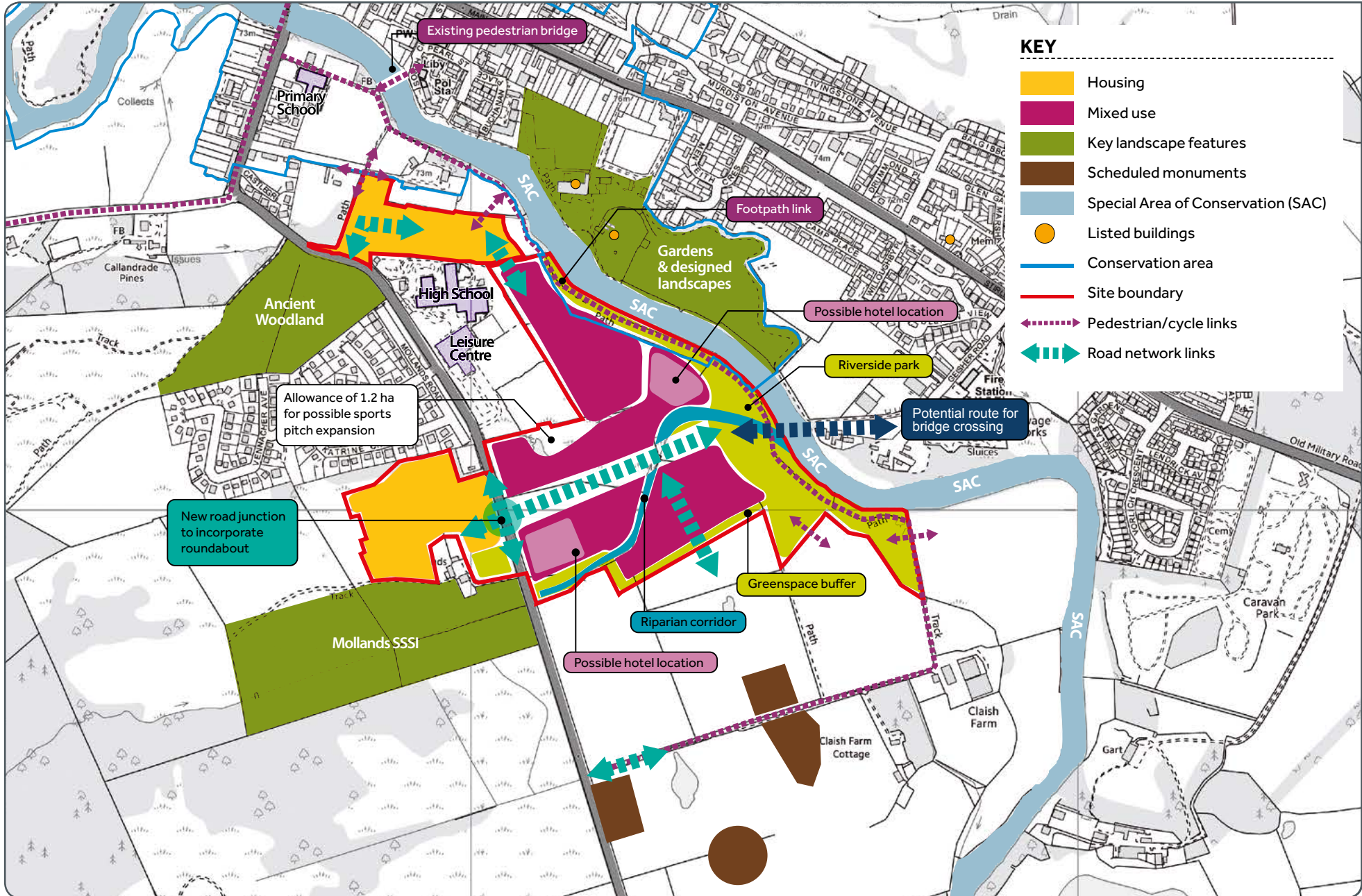
A programme of maintenance will be submitted as part of the planning application. Details will include medium to long term maintenance measures for Sustainable Drainage Systems, communal car parks and areas of open space.

Road bridge (long-term)

The capacity of the existing A81/A84 junction currently is for an additional 120 homes plus a 60 bed hotel. Beyond this a long term road bridge will be required at Callander east.

All new housing in Callander will contribute towards funding bridge infrastructure. A Strategic Infrastructure Assessment will be required to be produced and will be included within any subsequent update of this planning guidance. This is programmed to be on finalisation of this Guidance and Adoption of the Local Development Plan. The assessment will include the provision of a future road bridge, including the projected costs and how much contribution is required per house in Callander.

Delivering development in Callander South



Next steps

Section

7

Next steps...

We are inviting comments on this draft Planning Guidance from landowners, agents, Stirling Council, community organisations, key agencies and general public prior to finalising this guidance. Development sites will require to be monitored for their effectiveness and delivery.

The Park Authority will continue working with landowners, agents, Stirling Council, Key Agencies and Scottish Government to keep updated on progress in line with the Local Development Plan's Action Programme.

Appendix 1 - Contact details for advice

For advice on Ecosystems Services Approach:

Scottish Environment Protection Agency

Nicola Melville
Ecosystem Services Lead
nicola.melville@sepa.org.uk
01786 457753

Louise Bond
Senior Ecologist
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01786 452604

Lorna McLean
Acting Planning Unit Manager
Lorna.McLean@sepa.org.uk
01698 839339

Scottish Natural Heritage

Paul Roberts
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For support and advice on potential improvements to Mollands burn

River Forth Fisheries Trust

Alison Baker
Programme Coordinator
a.baker@fishforth.co.uk

For support for pedestrian and cycle routes including Riverside path

Callanders Countryside Loch Lomond & The Trossachs National Park

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Kenny Auld
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01389 722640