



PLANNING AND ACCESS COMMITTEE

MEETING: Monday 22nd February 2016

SUBMITTED BY:	Head of Planning & Rural Development
APPLICATION NUMBER:	2015/0393/HAE
APPLICANT:	Ms Jane Cargill
LOCATION:	Parklea, Main Street, Gartmore
PROPOSAL:	Alterations to dwellinghouse including erection of 1No. extension & formation of upper storey

NATIONAL PARK WARD:	Trossachs and Teith Ward
COMMUNITY COUNCIL AREA:	Gartmore Community Council
CASE OFFICER:	Name: Julie Gray Tel: 01389 727753 E-mail: julie.gray@lochlomond-trossachs.org

1 SUMMARY AND REASON FOR PRESENTATION

- 1.1 It is proposed to carry out alterations to a detached bungalow including the erection of a side extension and formation of an upper storey. The property is located within Gartmore Conservation Area.
- 1.2 The application is being presented to Committee because a joint owner of the property is a Manager employed by The Loch Lomond and the Trossachs National Park Authority. In accordance with point 5.10 iii. of the Scheme of Delegation relative to Planning (Appendix 1 to the Standing Orders for meetings of the Planning & Access Committee), where an application is made by or on behalf of a Director, Head of Service or Manager of the LLTNPA, that application must be subject of a report for consideration by the Planning and Access Committee.

2 RECOMMENDATION

That Members:

1. **APPROVE** the application

3 BACKGROUND

Site Description:

- 3.1 The application site is a detached modern bungalow and associated garden ground located within Gartmore Conservation Area. A location plan is outlined in Figure 1.
- 3.2 The bungalow is sited to the rear of a two storey traditional property which fronts Gartmore Main Street. The bungalow is backland development.
- 3.3 The land slopes downwards from Gartmore Main Street towards the property. The property is therefore set at a lower ground level than properties on Main Street.
- 3.4 Photographs of the site are provided in Figures 2-3.

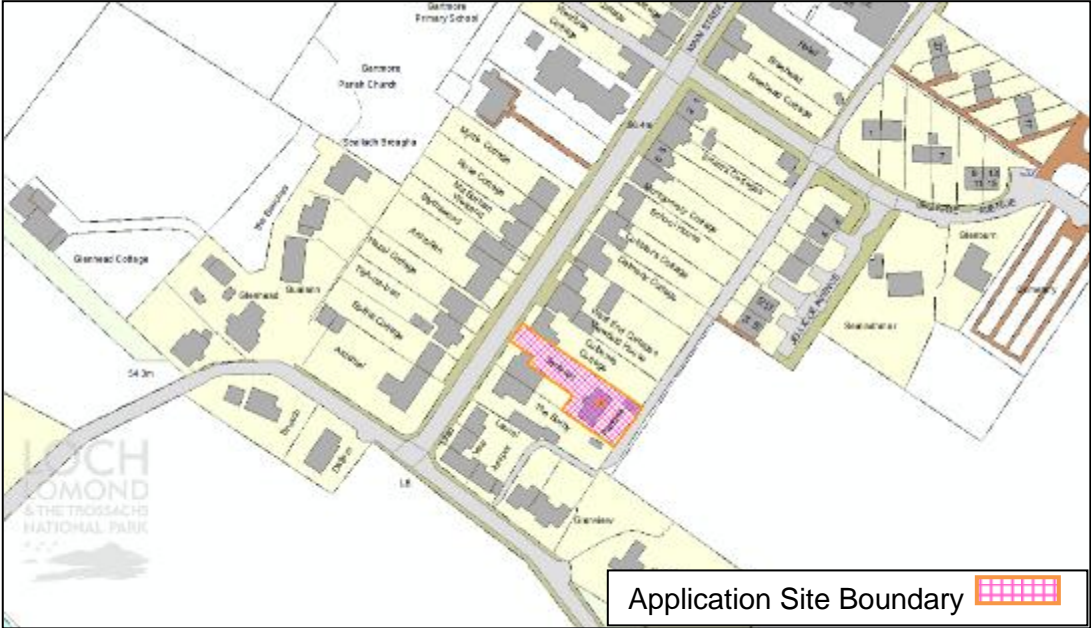


Figure 1: Location Plan



Figure 2: Photograph looking north west from C57, southern approach road to Gartmore



Figure 3: Photograph from Main Street looking down driveway of Parklea

Environmental Impact Assessment (EIA):

- 3.5 For the purposes of the Environmental Impact Assessment (Scotland) Regulations 1999 the National Park is identified as a 'Sensitive Area'. As a 'Competent Body' the National Park Authority has a statutory duty to consider whether proposals for development should be subject to the EIA process. In this particular instance it has been determined that an EIA is not required.

Description of Proposal:

- 3.6 Permission is sought for the following works:
- Erection of a single storey side extension and overcladding render of all external walls
 - Formation of upper storey extension
 - Replacement and alteration of the existing windows
 - Installation of 3no. rooflights
 - Change in roofing material from concrete tiles to black fibre cement tiles
 - Replacement of existing porch
- 3.7 The proposed finished materials would consist of the following:
- Zinc clad upper floor extension
 - Smooth white render
 - Black aluminium windows
 - Black fibre cement roof tiles
- 3.8 The proposed site plan is shown in Figure 4. The proposed elevations are shown in Figures 5.

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Figure 4: Proposed Site Plan



Figure 5: Proposed Elevations shown as 3d model

Planning History:

3.9 No planning history

4 CONSULTATIONS AND REPRESENTATIONS

Responses to Consultations:

4.1 West of Scotland Archaeology Service

No archaeological work required – The footprint of the extension proposed is reasonably small and will be constructed in ground that appears to have been subject to a degree of previous disturbance associated with the construction of the existing bungalow and its associated access.

Representations Received:

4.2 Two representations have been received in relation to the application.

4.3 One letter from Gartmore Community Council raised concerns about the proposal. The issues raised have been summarised below and a response to the range of concerns is provided within the text on the Planning Assessment (Section 7):

- Suitability of the design and setting within the conservation area
- The dormers appear rather chunky and industrial looking and are not considered to be complementary to the character of Gartmore Conservation Area

4.4 One letter of objection was received - the points raised are summarised as follows.

- The proposal will result in a substantial enlargement of the existing property and will impact on the conservation area
- The proposal is out of character with its surroundings
- The materials proposed are inappropriate

5 POLICY CONTEXT

National Park Aims:

5.1 The four statutory aims of the National Park are a material planning consideration. These are set out in Section 1 of the National Parks (Scotland) Act 2000 and are:

- (a) to conserve and enhance the natural and cultural heritage of the area;
- (b) to promote sustainable use of the natural resources of the area;
- (c) to promote understanding and enjoyment (including enjoyment in the form of recreation) of the special qualities of the area by the public; and
- (d) to promote sustainable economic and social development of the area's communities.

5.2 Section 9 of the Act then states that these aims should be achieved collectively. However, if in relation to any matter it appears to the National Park Authority that there is a conflict between the first aim, and the other National Park aims, greater weight must be given to the conservation and enhancement of the natural and cultural heritage of the area.

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Development Plan:

- 5.3 National Park Local Plan (adopted Dec 2011)
ENV20 Conservations Areas
HOUS7 Alterations and Extensions to Dwellings
D1 Design Quality

Other Material Considerations:

- 5.4 National Park Proposed Local Development Plan

The 'Proposed Local Development Plan' (LDP) was approved by the National Park Board on 27th April 2015. The 'Proposed Plan' has since been through a six-week period of public consultation and was submitted to Scottish Ministers for Examination of the outstanding representations in December. At this time the 'Proposed Plan' is a material consideration in the assessment of planning applications, depending on the policies that are relevant to the proposal and the outstanding representations.

The Proposed Plan provides an indication of likely changes in current planning policy. In this respect, the following policies are relevant:

- Overarching Policy 1: OP1 – Strategic Principles
- Overarching Policy 2: OP2 – Development Requirements
- Historic Environment Policy 2: HEP2 – Conservation Areas

The above do not raise any new policy considerations relative to the proposed development.

Supplementary Guidance

Sustainable Design Supplementary Planning Guidance (adopted Dec 2011)
Design & Placemaking Draft Supplementary Guidance (dated May 2015)

- 5.5 National Park Partnership Plan (2012-2017)

All planning decisions within the National Park require to be guided by the policies of the Partnership Plan, where they are considered to be material, in order to ensure that they are consistent with the Park's statutory aims. In this respect the following policies are relevant:

Con Policy 6: Cultural Heritage
RD Policy 7: Sustainable Design and Construction

- 5.6 Historic Scotland Guidance - New Design in Historic Settings

6 SUMMARY OF SUPPORTING INFORMATION

- 6.1 Design Statement outlining aspiration for the property produced by 'linearchitecture' contained within drawings showing external views of proposal.

7 PLANNING ASSESSMENT

- 7.1 The property is sited approximately 38m from Gartmore Main Street to the rear of a traditional two storey property. The existing bungalow is a modern intervention in the conservation area and is of no particular merit. It is accessed via a private driveway which slopes downwards towards the property. The ground level of the bungalow is therefore lower

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than that of Main Street. Concerns have been raised through the representations received regarding the suitability of the design and materials proposed within the context of the conservation area. The principal issue for consideration is whether the proposed development would preserve or enhance the character and appearance of Gartmore Conservation Area. With this in mind, the various elements of the proposal are assessed in turn below.

Side extension and overcladding

- 7.2 The design is in keeping with the existing bungalow with wall and roof lines running through. Whilst it is generally encouraged for extensions to appear subordinate to the original property, the building does not have a public frontage and the extension will only increase the length of the building by 3m. The proposed extension will reflect the modern proportions of the existing building and it is therefore acceptable in this instance. The overcladding of the entire building will ensure the extension and existing property appear as a single entity. It will not adversely affect the character of the property or the wider conservation area context.
- 7.3 The side extension will be partially visible from the Main Street; however, due to it being significantly set back from the Main Street and at a lower ground level, it will not impact on the character or appearance of the area. There will also be no impact on the amenity of neighbouring properties.

Upper storey extension

- 7.4 The design is contemporary and unusual as it protrudes above the ridge line of the existing property and steps back and forth along both the front and rear roof-planes to accommodate the desired internal room space. It is proposed to have zinc cladding which would wrap around the roof and walls. A larger than average chimney is also proposed which would be similarly clad in zinc. The overall appearance of the property as a result of the proposed upper floor extension and other proposed alterations would be a contemporary design which remodels and 'upcycles' an existing uninspiring bungalow into a contemporary family home.
- 7.5 It is accepted that the development as proposed is not traditional in character or appearance. However, contemporary design can complement existing traditional design without having an adverse impact on the character of the wider area. Historic Scotland's publication 'New Design in Historic Settings' states that 'high quality sustainable materials, well-detailed and finished will tend to harmonise well with traditional building stock'. Another example of the effective use of contemporary design and materials within Gartmore Conservation Area is the recent remodelling of the nearby Village Hall. The Village Hall is a prominent contemporary building on the Main Street. The bungalow, however, is set at a lower ground level than the Main Street, is significantly set back (approximately 38 metres) from Main Street and is also sited to the rear of a two storey property. It is only partially visible from within the conservation area when viewed directly from the top of the private driveway to the property. The design is considered to be contrasting yet complementary and will enhance the existing built form. The proposal will not impact on the streetscape of the conservation area.
- 7.6 The impact of wider views towards the village must also be considered given the location of the bungalow on the edge of the settlement boundary. In this respect, the bungalow is surrounded by taller two/three storey properties. In this context, the bungalow as extended would still be significantly lower in height than these properties and they will therefore provide sufficient back drop for the property not to appear incongruous or prominent when viewed from outwith the village.
- 7.7 The extension will have no impact on the privacy or amenity of neighbouring properties given the sensitively positioned upper storey windows and distance from neighbouring properties.

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Replacement and alteration of the existing windows

- 7.8 The existing windows are white upvc units, these do not add to the character of the conservation area and their replacement is therefore supported. In general, replacement windows in a conservation area are encouraged to be timber sliding sash and case windows. This guidance, however, is focused toward traditional properties where the windows would have originally been timber sliding sash and case and were a significant architectural feature. In this case, the property is not traditional, therefore the use of timber sash and case windows is not a requirement and alternative materials can be considered.
- 7.9 The replacement windows are proposed to be black aluminium units. This is a more sustainable material than upvc and has a high quality finish; it is therefore acceptable in this case. The alterations to the window openings are also acceptable.

Installation of 3no. rooflights

- 7.10 The rooflights would be located to the rear of the property and will not impact on the character of the conservation area or have any implications for privacy.

Change in roofing material from concrete tiles to black fibre cement tiles.

- 7.11 Natural slate is the predominant roof covering utilised within the conservation area however it would be unreasonable to require the roof to be slated given that the existing roof covering is concrete tiles and the property would likely never have had a slated roof. The replacement of the roof covering with fibre cement tiles is considered to have a neutral impact on the character and appearance of the conservation area and is acceptable.

Replacement of existing porch

- 7.12 The proposed replacement porch appears lightweight and non-intrusive. It represents an improvement from the existing porch and is acceptable.

8 CONCLUSION

- 8.1 The existing bungalow is a modern intervention in the conservation area and is of no particular merit. The proposed alterations and extensions are a contemporary design response to improve the overall aesthetics of the modern property. The design utilises high quality materials and detailing which is recognised by Historic Environment Scotland as an appropriate method to harmonise new design within the context of historic buildings. The proposed alterations to the house will preserve and enhance the character and appearance of the conservation area.
- 8.2 The siting and modest scale of the property ensures that the works would not have an adverse impact on the streetscape within the conservation area nor in views towards Gartmore.
- 8.3 The proposal is therefore considered to comply with local plan policies ENV20, HOUS7 and D1.

List of Plans

Title	Reference	Date Received
Location Plan	GMBJ_PL001	09/11/15
Existing Floor Plans	GMBJ_PL002	09/11/15
Existing Elevations	GMBJ_PL003	09/11/15
Site Plan Proposed	GMBJ_PL004	09/11/15

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Proposed Floor Plans	GMBJ_PL005	09/11/15
Proposed Elevations	GMBJ_PL006	09/11/15
General Proposed External Views	GMBJ_PL007	09/11/15

Background <http://www.lochlomond-trossachs.org/planning/>

Documents: *Click on view applications, accept the terms and conditions then enter the search criteria as '2015/0393/HAE'.*

List of Appendices: *Appendix 1 Informatives*

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Appendix 1

Informatives

- 1 Notification of Initiation of Development - Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. We recommend this is submitted 2 weeks prior to the start of work. A failure to submit the notice, included in the decision pack, would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.
 - 2 Notification of Completion of Development - As soon as practicable after the development is complete, the person who completes the development is required by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give written notice to the planning authority of the completion of the building works. As before, there is notice for you to complete for this purpose included in the decision pack. In larger, phased developments, a notice of completion is to be submitted as soon as practicable after each phase is finished by the person carrying out the development.
 - 3 Duration of permission - In accordance with section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), this permission lapses on the expiration of 3 years beginning from the date of this permission, unless the development to which this permission relates is begun before that expiration.
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