

PLANNING AND ACCESS COMMITTEE

MEETING: Monday 23rd May 2016

SUBMITTED BY:	Head of Planning & Rural Development
APPLICATION NUMBER:	2016/0012/DET
APPLICANT:	Swilken (Coldrach 1) Limited
LOCATION:	Coldrach Farm, Coldrach Lane Buchanan Smithy, Stirling, G63 0EB
PROPOSAL:	Refurbishment and change of use of steading building to form 6 dwellinghouses and erection of 4 holiday let chalets

NATIONAL PARK WARD:	Ward 4 (south east Loch Lomond)
COMMUNITY COUNCIL AREA:	Buchanan Community Council
CASE OFFICER:	Name: Catherine Stewart Tel: 01389 727731 E-mail: catherine.stewart@lochlomond-trossachs.org

1 SUMMARY AND REASON FOR PRESENTATION

- 1.1 Coldrach steading is part of a category B listing including Coldrach farmhouse. This is an application for the refurbishment of a redundant steading building and change to use to form 6 dwellinghouses and 4 holiday let chalets are proposed in the field to the north of the steading. Planning permission was granted for this scheme on 3rd January 2013, however this expired on 3rd January 2016. The associated listed building application was renewed on 19th February 2015 and is still extant.
- 1.2 This application is being presented to the Planning and Access Committee as a result of an objection submitted by Buchanan Community Council. The Scheme of Delegation relative to planning requires all such applications to be referred to the Committee for determination.

2 RECOMMENDATION

That Members:

1. **APPROVE the application subject to the conditions contained in Appendix 1.**

Site Description:

3.1 The site includes ()

- 3.4 Most elevations are natural stone, although there is some harling at the southern elevations. The yard to the west is cobbled and bounded by a stone wall with interesting coping pattern. To the north is a narrow yard/access which is bounded by a stone wall including a field drain/well feature. To the east of the steading is a narrow yard which borders a sub-divided walled enclosure. This may have been used for dairy cattle as the northern section has individual stalls marked out with concrete bay walls.

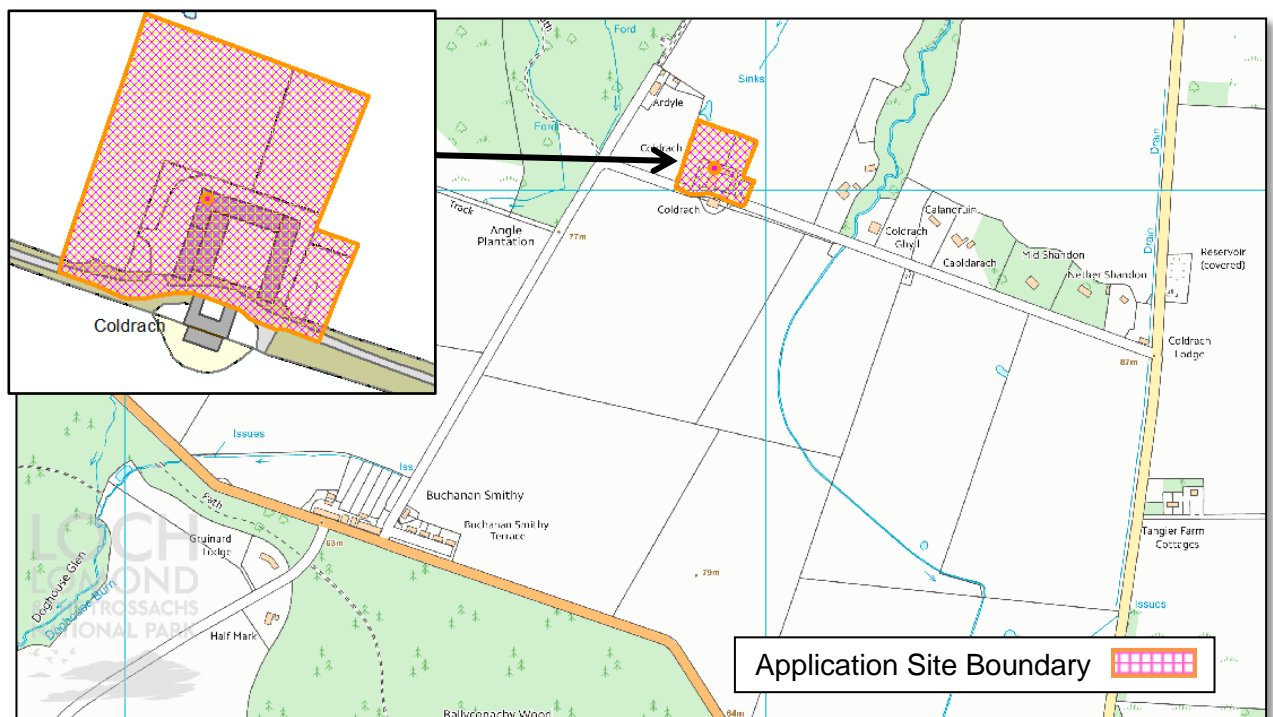


Figure 1: Location Plan

Agenda Item 6



Figure 2: Central courtyard area in 2012



Figure 3: Photograph looking north into central courtyard area (2015)

Agenda Item 6



Figure 4: Photograph from courtyard looking west (2015)



Figure 5: Photograph from courtyard looking east (2015)

Environmental Impact Assessment (EIA):

- 3.5 For the purposes of the Environmental Impact Assessment (Scotland) Regulations 1999 the National Park is identified as a 'Sensitive Area'. As a 'Competent Body' the National Park Authority has a statutory duty to consider whether proposals for development should be

Agenda Item 6

subject to the EIA process. In this particular instance it has been determined that an EIA is not required.

Description of Proposal:

Conversion of former steading to six residential units

3.6 The main external changes proposed to the steading are:

3.7 West wing (units 5 and 6)

Outside elevation (elevation 2): remove corrugated steel roof and replace with slate. Insert 5 "catslide" dormers. Glaze 3 arch openings and two rectangular apertures. Alter double door to window and insert one additional window and one additional door.

Courtyard elevation (elevation 6): remove breeze block and wooden slat extension with corrugated steel roof. Insert 4 conservation style rooflights. Amend one window by reducing size, amend two doors by using their openings for windows, insert a new door by extending an existing window opening and insert one new door.

3.8 North wing (units 3 and 4)

External elevation (elevation 3): Re-slate roof and insert 4 conservation style rooflights and 4 "catslide" dormers and 2 flues. In gable end replace shuttered hayloft doors with French windows and Juliet balcony. Replace two lower windows with larger casement windows with a vertical emphasis. Glaze 2 large door openings. Glaze existing window with plain glass, glaze existing door opening with plain glass and enlarge existing window. Insert glazing in former door opening and insert 1 new window.

Courtyard elevation (elevation 1): Re-slate roof and insert 6 conservation style rooflights. Alter one door opening with concrete lintel above into a full length glazed panel. Insert 2 single doors. Alter glazing pattern in one end window to be plain glazing.

3.9 East wing (units 1 and 2)

External elevation (elevation 4): Re-slate roof and insert 2 rooflights and flue. Alter two door openings into windows with timber panelling below. Insert 1 new door. Alter existing door opening to be a large glazed panel and insert 3 further windows, one with timber panelling below. Renew existing door creating side glazed panel.

Courtyard elevation (elevation 5): Re-slate roof and insert flue. Alter existing door opening to be a single window. Alter existing breeze block and wooden slatted openings (4) to be triple glazed windows (2) and triple panels with timber cladding and two window openings. Insert triple glazed panel into existing large opening.

3.10 Courtyard

Within the courtyard the existing 1.5m high wall is to be made good and the entrance enlarged to 3.75m wide. A cobble circle with an internal tree, gravel fill and timber bench seat is to be created in the centre of the courtyard. A total of 4 parking bays for units 3 and 4 are to be laid out at right angles to the north elevation. These are to have a gravel finish with cobble stone delineation.

3.11 Area surrounding the steading, including creation of a new access road and parking spaces

Surrounding the steading the existing stone walls are to be retained to the west and east, with alterations to the north:

Unit 5 and 6 are to be accessed via a new access road leading up to the field behind, and the proposed 4 chalets. The new access road is to be created via an existing field entrance to

Agenda Item 6

the west of the site which will then travel north close to the existing eastern boundary wall. A visitor parking bay for 4 spaces is to be laid out to the west and the entrance to the parking for units 5 and 6 is to be laid out to the east. A total of 6 spaces are proposed. The existing farmyard area would be divided into two garden ground areas with paths from the car parking areas to the steading. The plans also show bin storage areas.

Garden areas for units 3 and 4 are to be created to the north by removing the existing boundary wall and creating a new one further north. An existing stone wall running north/south across the field to the north is to be largely retained.

Parking and garden areas for units 1 and 2 are to be created to the east of the steading using stone from the existing stone walls, and creating some gaps to allow car parking spaces to be created. A total of 4 spaces are to be created with a small new access road leading to unit 2.

3.12 Internal Layout

All six properties are to have an open plan lounge/kitchen/dining area. Unit 6 is proposed to be a two level 4 bedroom property with 3 bedrooms and a bathroom on the upper floor. Units 3, 4 and 5 are proposed to be two level 3 bedroom properties with 2 bedrooms and a bathroom on the upper floor. Unit 2 is proposed to be a 4 bedroom property and Unit 1 a 3 bed roomed property, all on the one ground floor level.

Erection of 4 holiday let chalets

- 3.13 4 holiday let chalets are proposed in the field to the north of the steading. They are to be accessed via a new road from the existing field gate to the west of the steading. This road is to travel north alongside the stone wall boundary, and then turn east, still alongside the stone wall boundary serving the proposed chalets just to the south.

Two chalets are proposed to be orientated north/south and two are orientated east/west. All four are of the same contemporary design with a monopitched zinc roof, western red cedar cladding and some rendered panels. Internally they are to have 2 bedrooms, bathroom, separate toilet and open plan kitchen/dining/living room with large windows.

- 3.14 The proposed chalet floor plan and elevations are shown in Figure 6. The proposed site plan is shown in Figure 7.

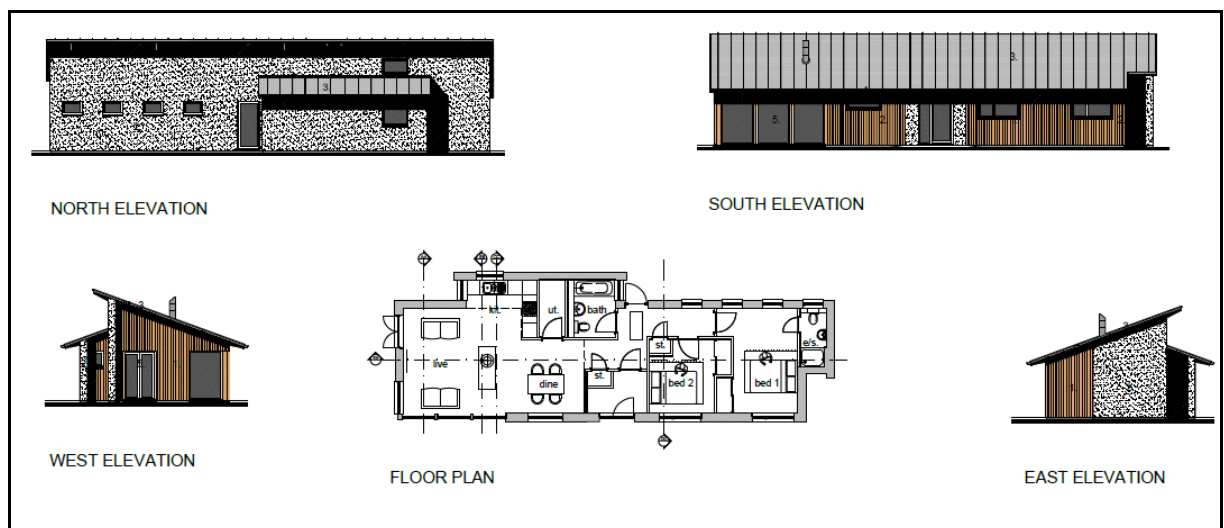


Figure 6: Proposed chalet floor plan and elevations

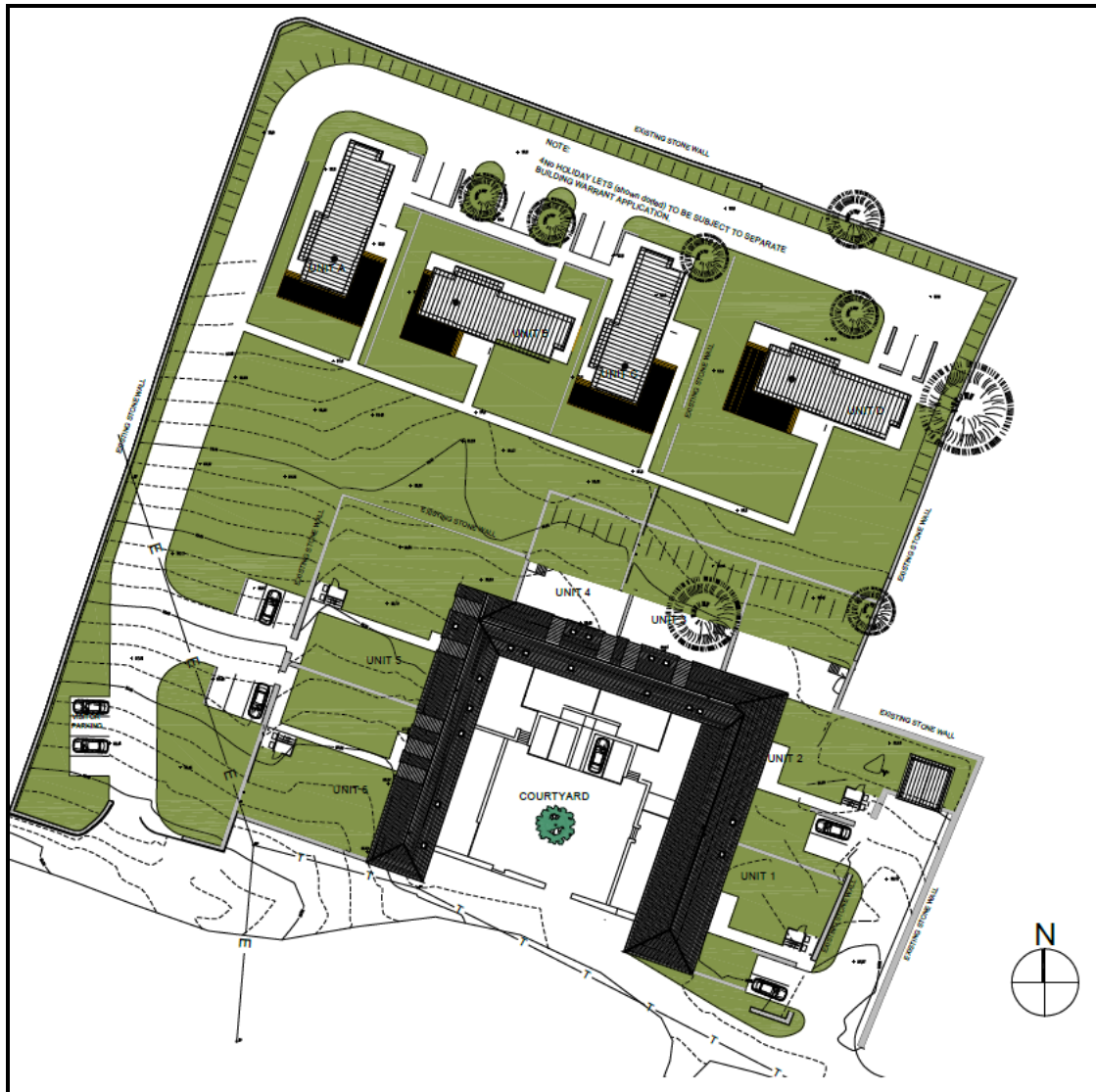


Figure 7: Proposed Site Plan

Planning History:

- 3.15 Two applications – one for detailed planning permission and one for listed building consent were submitted in 2012 and approved in January 2013. Application ref 2012/0251/DET was for the same proposal as currently under determination: “Refurbishment and change of use of steading building to form 6 dwellinghouses and erection of 4 holiday let chalets”. It differed slightly in that two of the units were two bedroom rather than three bedroom properties as now proposed. The associated listed building application ref 2012/0264/LBC was for works to the listed steading building only: “Refurbishment and change of use of steading building to form 6 dwellinghouses”.
- 3.16 In 2014 the agent proposed some variations from the original consent and a fresh listed building application was required to accommodate the small-scale changes including an additional two “catslide” dormers. It was considered that the additional dormers would not detract from the appearance of the building and application ref 2014/0322/LBC for “Amendment to Listed Building consent 2012/0264/LBC for refurbishment and change of use of steading building to form 6 dwellinghouses” was approved on 19th February 2015 and is still extant.

Agenda Item 6

- 3.17 Coldrach Farmhouse (part of same listing description) received planning permission and listed building consent in May 2012 for “Alterations and extensions to dwellinghouse including partial demolitions and alterations to roof” (ref 2012/0054/HAE and 2012/0055/LBC). These works have now been carried out and the derelict farmhouse has been renovated and is in use as a family dwellinghouse.

4 CONSULTATIONS AND REPRESENTATIONS

Responses to Consultations:

4.1 Buchanan Community Council

Object to the proposal for the following reason:

- 1) Unsuitable access - access to the old Gartness[Gartmore] road has poor sightlines, it is used by walkers on the West Highland Way, Cyclists on National Cycle Route 7, is in poor condition, has no passing places and is unsuitable for construction vehicles. Access should be via Buchanan Smithy which is the historic route to the site.
- 2) Overdevelopment - The application involves provision of 10 houses and it was felt that this did not comply with the recommendation in the South Buchanan Supplementary Guidance Document which recommends limiting such developments to 5-8 units. The number of units in the project should be reduced to 5.

4.2 STC Roads (Stirling)

No objections subject to the following conditions being applied to any consent being granted:

- Upgrading Private Access Road: A section of approximately 380m of Coldrach Lane, to the west of the entrance to Calandruin, shall be fully surfaced prior to occupation of any accommodation. A passing place should be provided near each end of this section.
- Waste Collection: provision of waste collection facilities; and
- Parking: provision of parking spaces

4.3 STC Environmental Health (Stirling)

No objections subject to conditions regarding:

- Construction noise
- Contaminated land survey, remediation strategy, implementation of remediation and reporting
- Wood burning stove - Installation of an 'exempted appliance' to be installed and operated in accordance with manufacturer instructions, especially with regards to use of the correct fuel.

4.4 Scottish Water (Glasgow)

No response received. However for the original application (2012) they responded as follows:

“Scottish Water has no objection to this planning application.

Carron Valley Water Treatment Works currently has capacity to service this proposed development.

Buchanan Waste Water Treatment Works currently has capacity to service this proposed development.”

Representations Received:

- 4.5 At the time of preparation of this report three representations, from residents on Coldrach Lane, have been received in relation to the application. The points raised are summarized as follows:

Agenda Item 6

- i. Concern about the safety of the road junction with increased traffic volume – the turn onto the Old Gartmore Road has restricted sightlines (traffic from the left at the junction is on a long downhill and can travel at an appreciable speed for a restricted view of the access), is part of the National Cycle Way Route 7, and is used by tourists, cars, walkers and cyclists. Construction traffic and subsequent residential use could lead to safety issues for all people in the area.
- ii. Overdevelopment – ten houses with provision for 26 cars is an over-development and is not in keeping with the rural area. There are only 8 houses in total on Coldrach Farm Lane.
- iii. Safety concerns about the access road – not safe to increase use by 26 cars. There are no passing places, the verge is soft, the bridge is weak. Unsuitability for construction traffic, including 'old' bridge over the Mill Burn.
- iv. Safety concerns about the Old Gartmore Road – construction traffic going past the primary school is not safe.
- v. Alternative access to site is proposed from Buchanan Smithy - this road should be tarmacked before development and used as the access road. It has a bus stop for tourists using the chalets, is not blind, is not part of the Rob Roy way, does not use driveways as passing places and does not go past the primary school.

5 POLICY CONTEXT

National Park Aims:

- 5.1 The four statutory aims of the National Park are a material planning consideration. These are set out in Section 1 of the National Parks (Scotland) Act 2000 and are:
- (a) to conserve and enhance the natural and cultural heritage of the area;
 - (b) to promote sustainable use of the natural resources of the area;
 - (c) to promote understanding and enjoyment (including enjoyment in the form of recreation) of the special qualities of the area by the public; and
 - (d) to promote sustainable economic and social development of the area's communities.
- 5.2 Section 9 of the Act then states that these aims should be achieved collectively. However, if in relation to any matter it appears to the National Park Authority that there is a conflict between the first aim, and the other National Park aims, greater weight must be given to the conservation and enhancement of the natural and cultural heritage of the area.

Development Plan:

5.3 National Park Local Plan (adopted Dec 2011)

Relevant Policies:

HOUS5 Housing in the Countryside

L1 Conserving and Enhancing the Diversity and Quality of the Park's Landscapes

D1 Design Quality

SUSDEV1 Sustainable Development

TRAN2 Promoting Sustainable Travel and Improved Travel Options

TRAN3 Impact of New Development on the Road Network

TRAN4 Provision of New Transport Infrastructure

TRAN5 Development Off Substandard Roads

TRAN6 Parking Provision

Agenda Item 6

ENV19 Historic Land Contamination

ENV21 Listed Buildings

ENV26 Other Unscheduled sites of Archaeological importance

ENV27 Sites with Unknown Archaeological potential

ENV28 Conservation and Reuse of Redundant Buildings

Proposals for sympathetic conversion and re-use of redundant buildings of vernacular quality and local historic and/or architectural quality will be supported where this will stop the building from falling into disrepair and where the building is structurally sound and capable of conversion without significant degrees of rebuilding or new building elements.

TOUR1 New Tourism Development

TOUR2 Supporting and Retaining a Range of Quality Tourism Accommodation

ENV4 Legally Protected Species

ENV6 Enhancing Biodiversity in New Developments

Other Material Considerations:

5.4 National Park Proposed Local Development Plan

The final consultation period for the Proposed Local Development Plan closed on 29 June 2015. The Proposed Local Development Plan was submitted to Scottish Ministers on 09 December 2015 to request an examination of unresolved representations. The Examination formally commenced on 04 February 2016. The Reporter will submit a report of their examination to the planning authority, containing their conclusions and recommendations on each issue and any modifications to the plan. In the interim, the Proposed Local Development Plan is a material consideration in the assessment of planning applications and the amount and type of representations are key considerations in determining the weight given to each policy or proposal.

The Proposed Plan provides an indication of likely changes in current planning policy. In this respect, the following policies are relevant:

- Overarching Policy 1: OP1 – Strategic Principles
- Overarching Policy 3: OP3 – Development Contributions
- Housing Policy 1: HP1 – Providing a diverse range of housing
- Housing Policy 2: HP2 - Location and types of new housing required
- Overarching Policy 2: OP2 – Development Requirements
- Natural Environment Policy 1: NEP1 - National Park Landscapes, seascape and visual impact
- Natural Environment Policy 4: NEP4 - Legally Protected Species
- Natural Environment Policy 6: NEP6 - Enhancing Biodiversity Visitor Experience
- Policy 1: VEP1 - Location and Scale of new development
- Visitor Experience Policy 2: VEP2 - Delivering a World Class Visitor Experience
- Transport Policy 2: TP2 - Promoting Sustainable Travel and Improved Active Travel Options
- Transport Policy 3: TP3 - Impact Assessment and Design Standards of New Development
- Natural Environment Policy 16: NEP16 - Contaminated Land
- Historic Environment Policy 1: HEP1 - Listed Buildings
- Historic Environment Policy 3: HEP3 - Wider Built Environment and Cultural Heritage
- Historic Environment Policy 5: HEP5 - Conversion and Re-use of Redundant Buildings
- Historic Environment Policy 8: HEP8 - Sites with Unknown Archaeological Potential

Supplementary Guidance

Sustainable Design Supplementary Planning Guidance (adopted Dec 2011)

Agenda Item 6

Housing Development Supplementary Planning Guidance (adopted Nov 2012)
Draft Planning Guidance Visitor Experience (May 2015)
Draft Planning Guidance Listed Buildings and Conservation Areas (May 2015)
Draft Supplementary Guidance Housing (May 2015)
Draft Supplementary Guidance Design & Placemaking (May 2015)
Draft Supplementary Guidance Buchanan South (May 2015)

5.5 National Park Partnership Plan (2012-2017)

All planning decisions within the National Park require to be guided by the policies of the Partnership Plan, where they are considered to be material, in order to ensure that they are consistent with the Park's statutory aims. In this respect the following policies are relevant:

Con Policy 6: Cultural Heritage
VE Policy 2: Sustainable Tourism
RD Policy 7: Sustainable Design and Construction

6 SUMMARY OF SUPPORTING INFORMATION

- 6.1 A design statement was submitted by the applicant's agent in support of the application. This covers both the steading conversion and the proposed chalets.
- 6.2 The agent also re-submitted supporting information that had been part of the former (2012) application including:
- Drainage Discharge Statement
 - Structural Survey
 - Sustainability Checklist
 - Roads upgrading information
 - Bat report dated 08/08/12
- 6.3 The agent also submitted:
- Bat update report dated 05/12/14
 - GUARD Historic Building Recording Survey of 13/08/13 (required as part of the Listed Building Consent)
 - IKM Conclusions of the ground investigations survey of Sept 2014.
- 6.4 A further updated bat report has been requested by the planning officer (see section 7.25). This has not yet been received at the time of writing this report, but the agent has agreed to submit this prior to the committee meeting. A verbal update will be given by the case officer at committee.
- 6.5 The agent submitted a letter dated 29 April 2016 in support of the application and in response to the objections by Buchanan Community Council and letters of representation. The points made can be summarised as follows:
- The community group did not comment on the previous application.
 - Local policy has not altered within this period and this application clearly reflects and is entirely similar to that previously approved.
 - It secures the restoration and reuse of redundant unsightly listed buildings and provides for new housing and high standard holiday lets which will bring increased economic activity to the area and boost tourism within the National Park, reflecting National Park Policy guidelines.
 - Access to Coldrach Farm has been established since 1761 and therefore cannot be challenged given that the scale of development has been approved and is appropriate

Agenda Item 6

for development reflecting and enhancing the rural context. Environmental Services (roads authority) previously approved access arrangements.

7 PLANNING ASSESSMENT

- 7.1 The acceptability of the principle of a change of use of the steading to form 6 residential units and the erection of 4 chalets in the field to the north was agreed through the granting of the previous planning application in 2013 which has recently expired (see section 3.15). That proposal was considered against the policy background set out in the current Adopted Local Plan which was in place at that time and it was confirmed that the proposal complied with policy. Currently the same Adopted Local Plan policies are in place. Therefore in assessing the application significant weight must be given to the previous approval.
- 7.2 For this renewal application the reasons for compliance with Adopted Local Plan policies will be set out for members of the Planning Committee and the proposal will also be assessed against the proposed Local Development Plan policies, draft Planning Guidance and draft Supplementary Guidance (which are of limited weight at this time).
- 7.3 Other key planning issues for assessment include:
- Affordable Housing
 - Siting and Design
 - Parking and access
 - Roads
 - Drainage and flooding
 - Contaminated land
 - Trees/Landscaping
 - Bats

Finally issues raised by consultees and in letters of representation will be considered.

- 7.4 The following assessment is structured to consider the residential conversion and the new build holiday letting units separately as appropriate.

Principle – steading conversion

- 7.5 The main local plan policies applicable in this case are ENV28 'Conservation and Reuse of Redundant Buildings' and HOUS5 'Housing in the Countryside'. In principle the conversion of the steading into residential units is acceptable as it will stop the building from falling into further disrepair. This is on the provision that the building is structurally sound and capable of conversion without significant degrees of rebuilding or new building elements. The building survey assessed the condition of the building and indicates that whilst some elements of rebuilding will be required, the stonework of the main walls is relatively sound. At the time of the original application much of the slate roof was still in place. The slates have since been removed and stored for re-use in preparation for the construction works. The steading conversion does not involve any extensions, but rather the removal of unsightly additions including a lean-to shed with breeze blocks and corrugated metal roofing. The proposal is therefore considered to comply with policies ENV28 and HOUS5.
- 7.6 The proposed Local Development Plan Historic Environment Policy 5 'Conversion and Re-use of Redundant Buildings' is very similar to ENV28 and the proposal also complies with this policy.

Agenda Item 6

Affordable Housing

- 7.7 The steading conversion is for a change of use to 6 open market housing units. Under the Adopted Local Plan, the corresponding Supplementary Planning Guidance (SPG) on housing provides further detail on each individual policy. This site is located outwith a settlement boundary and outwith a 'building grouping'. Therefore it lies within the wider countryside. In the section on HOUS5 'Housing in the Countryside' it states *"Proposals for the re-use and conversion of redundant rural buildings will be supported in accordance with Policy ENV28 and for general needs housing"*. There is therefore no specific requirement for affordable housing in this instance.
- 7.8 The draft Supplementary Guidance (SG) on Housing, related to the proposed Local Development Plan, includes section 9 on Conversions and renovations. It states that for proposals of 4 units or more, affordable housing on-site or a commuted sum towards affordable housing will be required. It states that it would be possible to make an exemption to the provision of on-site affordable housing if the building and or location are not suitable for affordable housing. The SG also states that an exemption to making a commuted sum would be made if the applicant provides evidence of abnormal costs and where the building is of historical/cultural significance. It states that abnormal costs would be expected to arise from the need to repair a building using traditional skills and materials. At present the draft SG can only be afforded limited weight and since the adopted local plan does not require affordable housing for a conversion the applicant has not been requested to submit a viability statement, however it is anticipated that there are abnormal costs associated with the restoration of this listed building with high quality traditional materials.

Principle – chalets

- 7.9 The main local plan policies against which this element of the proposal would be assessed are: TOUR1 'New Tourism Development' and TOUR2 'Supporting and Retaining a Range of Quality Tourism Accommodation' concerning the principle of tourism development; and also ENV21 'Listed Buildings' as the proposals may affect the setting of the listed steading and house.
- 7.10 Policies TOUR1 and TOUR2 state that proposals outwith the settlements and Schedule 4 sites will be supported where they accord with the strategy and local destination requirements identified in Schedule 5. The schedule states that within the East Loch Lomond area support will be given for tourism development that will enhance the role of Drymen as a focus for service and facilities for east Loch Lomondside. It is considered that the proposed chalet/lodges would enhance the role of Drymen as Coldrach Lane is located close to Drymen and it is likely that tourists would use the services within Drymen village. Also the site lies within the Drymen 'Strategic Tourism Opportunity' in Map 6 'Spatial Development Strategy' in the Partnership Plan.
- 7.11 Proposed Local Development Plan Visitor Experience Policy 1 'Location and Scale of new development' supports small scale development within areas of countryside with access to the existing recreational network of paths, infrastructure or visitor facilities as shown in areas shaded on the Development Strategy Map. This site is included within the green-shaded area between Drymen and Balmaha. The Draft Visitor Experience Planning Guidance (PG) sets out how the Proposed Development Plan Visitor Experience policy is to operate. The proposal is considered to comply with the draft PG as the site is located approximately 1.5 miles to Drymen and 0.5 miles from the West Highland Way.
- 7.12 In summary, although the site is outwith the Drymen settlement boundary, there is general support for the principle of tourism accommodation development at this location. A condition will be required on the consent to ensure these 4 units are not used as permanent dwellinghouses as they have not been designed as such and would be unsuitable for this

Agenda Item 6

purpose in terms of siting, layout and the provision of privacy and amenity ground. Also a condition should be applied to any consent requiring submission of a management plan for communal landscaping, and to remove Permitted Development rights to control the erection of any ancillary domestic buildings or extensions which would be inappropriate for holiday chalets.

Design – steading conversion

- 7.13 The proposed alterations to this Grade B Listed Building were assessed through the approved Listed Building Consent ref: 2014/0322/LBC which is extant. The assessment from that report concludes that the proposals comply with local plan policy ENV21 as they would allow the building's special interest to be retained whilst enabling it to return to active use which will ensure its repair and preservation.

Siting and design – chalets

- 7.14 TOUR2 'Supporting and Retaining a Range of Quality Tourism Accommodation' states that new tourism development will be assessed against the Supplementary Planning Guidance on Design, L1 'Conserving and Enhancing the Diversity and Quality of the Park's Landscapes' and D1 'Design Quality'.
- 7.15 The location of the chalets within the field to the north of the steading is considered to be acceptable as the chalets would be in proximity to the steading, and viewed in association with the steading (as opposed to development in the open countryside), yet not so close as to detract from the setting of the listed building. The field is at a higher level than the steading, however the chalets are to be set back within the site so as to allow private amenity space for the steading residential units 3 and 4. The retention of as much as possible of the original stone walls was encouraged through pre-application advice and the design was amended to retain an existing dividing wall running north/south. Gaps will be required in this wall to allow the access road, however it will be mostly retained.
- 7.16 The designs proposed for the chalets are contemporary and high quality with zinc roofing and timber cladding as well as rendered panels. The unusual roof design with a large sloping monopitched roof and smaller sloping roof with a lower ridge height is considered to be distinctive and attractive. The chalets are to be sited in a row, but with alternate chalets facing North/South, then East/West. This will add variety and minimise their visual impact. Further details on the decking proposed will be required by condition.
- 7.17 The draft Design and Placemaking Supplementary Guidance (SG) includes a section on holiday developments. It is considered that the proposals comply with the principles set out.
- 7.18 In summary the proposed chalet siting and design is considered to comply with local plan policies L1 and D1 as the design is of high quality and the location of chalets within the site will fit into the surrounding landscape without affecting the setting of the listed buildings.

Parking and access

- 7.19 A new access road is required to serve the parking areas for Units 5 and 6, as well as to serve the chalets to the north. As this road is aligned adjacent to the existing stone wall its visual impact will be minimised. Details on the proposed colour of gravel for this road will be controlled via condition. Parking bays are also to be arranged adjacent to each unit and chalet. Further details on their demarcation will be required via condition.

Roads

- 7.20 The condition of the existing private road along Coldrach Lane degrades on its approach to the application site. The Roads Authority have no objections to the proposal but have requested that the surface is improved/upgraded from the site along to the entrance to

Agenda Item 6

“Calandruin” (approximately 300 metres to the east of the site) and the applicant has confirmed he is willing to do this:

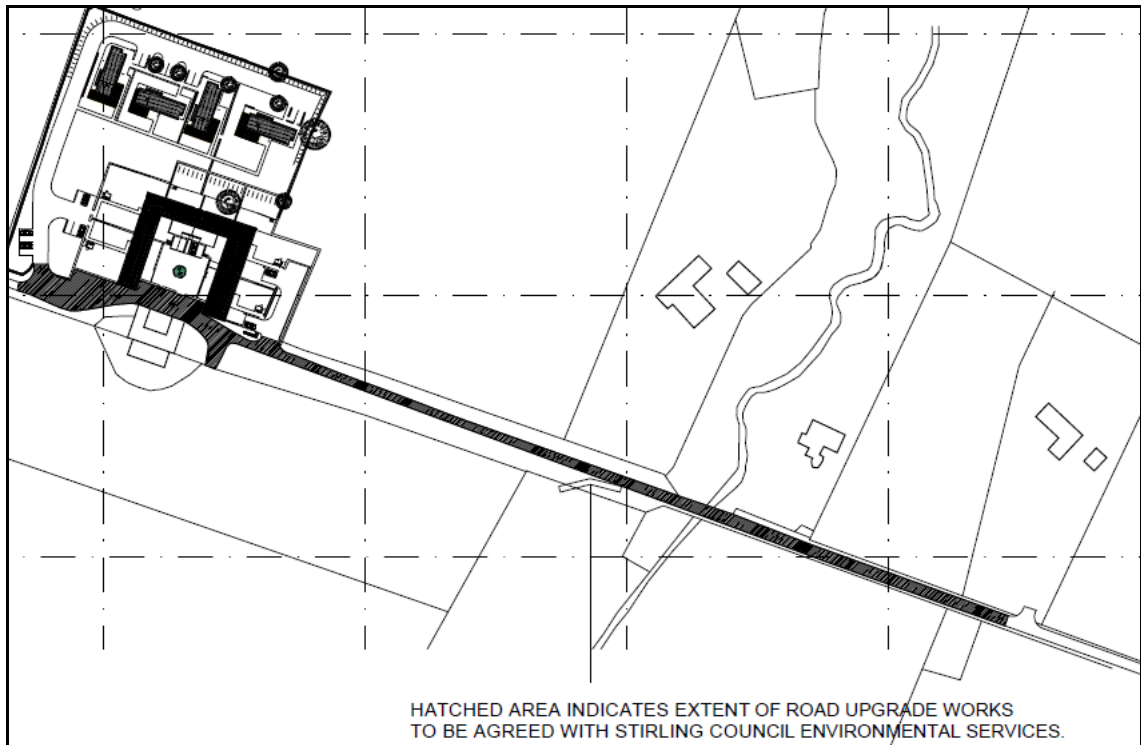


Figure 8 Road Upgrade Extents

A condition is therefore proposed that prior to the occupation of the first dwellinghouse or chalet the road must be upgraded. Roads have also requested a condition for the provision of a waste collection point for bin collection and this should similarly be added to any consent granted.

Drainage and flooding

- 7.21 As the site is outwith mains sewage infrastructure a private treatment plant is required. This is proposed to be buried underground and its exact location is yet to be determined. Further details on this will be required to be submitted and further approved via condition.
- 7.22 The supporting information states that rainwater from the roofs will be taken into a filter trench and the overflow outfall discharged into the adjacent water course. In the previous application Stirling Council flooding responded on the application asking for calculations to show how SUDS are to be used to reduce surface water runoff from the site to pre-development levels. Further details on this will be required by condition.

Contaminated Land

- 7.23 As the site was formerly in agricultural use Stirling Council Environmental Health Authority have advised that conditions should be placed on the consent requiring a contaminated land investigation to be undertaken prior to commencement of site works, and to deal with any unsuspected or unencountered contamination that becomes evident during construction. These are proposed as conditions 15-19 in Appendix 1.

Trees/Landscaping

- 7.24 The plans indicate that no trees are to be affected by the proposals, however one tree to the north of the steading may be affected by alterations to ground levels. It is recommended that a landscaping scheme be required by condition to ensure the provision of supplementary

Agenda Item 6

planting within the site.

Bats

- 7.25 A bat survey report was submitted with the original application. This found evidence that 2 Pipistrelle bats were present within the steading building. However since that date a licence to disturb the bat roost was granted by SNH and the slate roof sections have been removed from the property. An update report has been requested from the agent confirming that the building is not being used as a summer roost. This update has not yet been received at the time of writing and will be reported verbally to committee.

Further issues raised by consultees/ letters of representation

Stirling Council Environmental Health

- 7.26 Stirling Council Environmental Health have requested a condition be placed on the consent to control the hours of construction and thereby minimise any noise impacts on residents. They have also requested a condition regarding wood burning stoves (which are proposed within the living areas of each of the housing units in the steading and also within the chalets), to ensure they are installed and operated in accordance with manufacturer instructions, especially with regards to use of the correct fuel. These conditions can be found in Appendix 1.

Buchanan Community Council and letters of representation

- 7.27 Buchanan Community Council have raise two key concerns – that of unsuitable access and overdevelopment. The individual representations cover the same issues in further detail. Addressing each in turn:
- 7.28 **Unsuitable access.** Buchanan Community Council object on the grounds that the access to the old Gartness[Gartmore] road has poor sightlines, it is used by walkers on the West Highland Way, Cyclists on National Cycle Route 7, is in poor condition, has no passing places and is unsuitable for construction vehicles. Access, it is suggested, should be from the south and west via Buchanan Smithy which is the historic route to the site. In addition the letters of representation state the following concerns:
- i. *Concern about the safety of the road junction with increased traffic volume*
 - iii. *Safety concerns about the access road – not safe to increase use by up to 26 cars.*
 - iv. *Safety concerns about the Old Gartmore Road*
 - v. *Alternative access to site is proposed from Buchanan Smithy*
- As stated in 7.20 above Stirling Council as Roads Authority have no objections to the proposal provided that the section of road between the site and Calandruin is upgraded. Their response states:

“The application site is located on the north side of a private road known as Coldarach Lane, approximately 800m from the hamlet of Buchanan Smithy, and 1.5km from the village of Drymen. The site is currently served by two accesses via Balmaha Road and Old Gartmore Road. The access route to the west of the development leads to Balmaha Road along an unsurfaced track with bumpy terrain and proves to be an unpleasant route for private car drivers. The second and more favourable route is from the east of the development along Coldarach Lane leading onto Old Gartmore Road via a 700m private road, of which only 400m is surfaced”

It also concludes:

“An upgrade to the substandard access road, to the east of the development site, would create a road surface that allows vehicles to enter the site along Coldarach Lane in a safe and comfortable manner.”

Agenda Item 6

The roads authority have not expressed any concerns about the safety of the main access route to the site (via Old Gartmore Road and Coldrach Lane). They note that the access road from Buchanan Smithy is a less suitable route. In terms of construction traffic volume, works have already been carried out to renovate the derelict Coldrach Farmhouse (part of the same listing) and no complaints were raised with the planning authority. Whilst this is a larger scale proposal it is not anticipated that there will be a significantly larger volume of heavy goods vehicles accessing the site to carry out the renovation works.

- 7.29 **Overdevelopment.** Buchanan Community Council object on the grounds that the application involves provision of '10 houses' and this does not comply with the draft South Buchanan Supplementary Guidance which they state recommends limiting such developments to 5-8 units. They state that the number of units in the project should be reduced to 5. In addition the letters of representation state the following concern:

ii. Overdevelopment – ten houses with provision for 26 cars is an over-development and is not in keeping with the rural area. There are only 8 houses in total on Coldrach Farm Lane.

It is recognised that the conversion of the steading to 6 housing units will increase the number of properties on Coldrach Lane, however the steading is of a size that six units can be accommodated. Likewise the addition of 4 chalets (self-catering holiday accommodation) may increase traffic flow along the lane but the site is of a size where four chalets can reasonably be accommodated with sufficient amenity and parking areas and it is not considered to be an overdevelopment of the site.

- 7.30 The draft South Buchanan Supplementary Guidance does not state any limit on developments to 5-8 units. This site is located in the countryside and it states (on page 11):

*“Development proposals within the wider countryside will be supported where they:
Relate to the renovation, conversion or extension of existing buildings ...
New isolated development in the countryside will not generally be supported.”*

This proposal for change of use of the steading relates to the conversion of an existing listed building. The proposed chalet development to the rear is not in an isolated location, being close to the chalet and Coldrach Farmhouse, approximately 1.5 miles from Drymen and 0.5 miles from the West Highland Way. It can therefore be considered to comply with the draft Supplementary Guidance.

8 CONCLUSION

- 8.1 The proposals for the refurbishment and change of use of Coldrach steading to form 6 dwellinghouses has previously been granted planning permission and has an extant Listed Building Consent. These circumstances should be attributed significant weight in assessing the application. The proposal still complies with local plan policies as it will enable the building's special interest to be retained whilst enabling it to return to active use which will ensure its repair and preservation. The refurbishment works have been designed to have minimal impact on the character of the listed building and are considered to comply with local plan policy ENV21. The re-use and refurbishment of this Listed Building, which is acknowledged as making a positive contribution to the heritage of the local area, is the overriding consideration in the assessment of this application.
- 8.2 The erection of 4 holiday let chalets within the field to the north of the site was also previously granted planning permission and again this should be attributed appropriate weight in considering this application. This element of the proposal still complies with local plan policies on tourism as the site is located close to Drymen and it is expected that visitors

Agenda Item 6

would make use of services within Drymen during their stay. The chalets are of high quality contemporary design and their proposed siting within the field is in association with the buildings at Coldrach, and will have no adverse impact on the setting of these listed buildings.

- 8.3 In combination the proposal makes for a compelling development project that accords with current and emerging National Park policy. The primary concerns in relation to the proposed development as expressed by the Community Council and neighbouring parties relate to the increased volume of traffic and resulting road safety concerns and these have not been affirmed by Stirling Council as the Roads Authority. With regard to concerns expressed about 'overdevelopment' the proposal involves the sympathetic re-use and conversion of an existing building. The additional holiday units accord with adopted local plan policies TOUR1 and TOUR 2 and the Proposed Local Development Plan Visitor Experience Policy 1 (b) as it comprises a small scale development within areas of countryside with access to the existing recreational network of paths (West Highland Way is 0.5 miles from the site), infrastructure and visitor facilities (Drymen is 1.5 miles from the site).

List of Plans

Title	Reference	Date Received
Location Plan	A35/P/001	15/01/16
Plan Existing topographical survey	A35/P/002	15/01/16
Plan Existing Floor Plans	A35/P/003	15/01/16
Plan Existing Elevations (1 - 3)	A35/P/004	15/01/16
Plan Existing Elevations (4 - 6)	A35/P/005	15/01/16
Plan Proposed Site Layout	A35/P/006	15/01/16
Plan Proposed Floor Plans	A35/P/007	15/01/16
Plan Proposed Elevations (1 - 4)	A35/P/008	15/01/16
Plan Proposed Elevations (5 & 6) and Sections FF and GG	A35/P/009	15/01/16
Plan Proposed Sections AA - EE and HH	A35/P/010	15/01/16
Plan Proposed Roof Plan	A35/P/011	15/01/16
Plan Site Sections - Existing and Proposed	A35/P/012	15/01/16
Plan Proposed Steading Courtyard Layout	A35/P/013	15/01/16
Plan Proposed Steading - Wall removal and openings	A35/P/014	15/01/16
Plan Proposed Holiday Lets - Elevations, Sections and Floor Plan	A35/P/015	15/01/16
Plan Road Upgrade Extents	A35 / P-016A	04/05/16

Agenda Item 6

Background <http://www.lochlomond-trossachs.org/planning/>

Documents: *Click on view applications, accept the terms and conditions then enter the search criteria as '2016/0012/DET'.*

List of *Appendix 1 Conditions and Informatives*
Appendices:

Appendix 1

Conditions

- 1. Parking and Turning Space (steading):** The dwellings hereby permitted shall not be first occupied until the associated vehicular parking and access roads/driveways have been constructed in accordance with the approved plan (drawing number A35/P006 received by the Planning Authority on 15/01/16). The aforementioned parking and access roads/driveways shall thereafter be retained and capable of use at all times and shall not be removed or altered without the prior written approval of the Planning Authority.

REASON: To ensure a minimum standard of provision following the commencement of the approved use and thereafter.

- 2. Parking and Turning Space (chalets):** The chalets hereby permitted shall not be first occupied until the associated vehicular parking and access roads/driveways have been constructed in accordance with the approved plan (drawing number A35/P006 received by the Planning Authority on 15/01/16). The aforementioned parking and access roads/driveways shall thereafter be retained and capable of use at all times and shall not be removed or altered without the prior written approval of the Planning Authority.

REASON: To ensure a minimum standard of provision following the commencement of the approved use and thereafter.

- 3. Boundary walls:** The dwellings and/or chalets hereby permitted shall not be first occupied until the stone boundary walls have been built or repaired. The walls shall be of a dry stone construction using locally sourced material. The new stone walls and repairs shall match (in terms of colour, rugged appearance, profile, block size and distinctive coping pattern) and otherwise harmonise with the appearance and character of the existing stone walls.

REASON: To safeguard the character, appearance and setting of this Category B-listed building and to ensure the integration of the chalets within their landscape setting.

- 4. Surface Water and Drainage:** Prior to the commencement of the development hereby permitted details of a scheme for the treatment of surface water and foul drainage for the entirety of the application site (including details of the timing of works and details of any underground sewage treatment plant or pumping stations) shall be submitted to, and approved in writing by, the Planning Authority. Such a scheme shall incorporate the principles of Sustainable Urban Drainage (SUDS) as contained in PAN 61 – Planning and Sustainable Urban Drainage Schemes and the Sustainable Urban Drainage Systems – Design Manual for Scotland and Northern Ireland (Sustainable Urban Drainage Scottish Working Party), or any subsequent revisions/equivalent publications. The scheme shall include details of how SUDS are used to reduce surface water runoff from the site to pre-development levels.

REASON: Insufficient detail has been submitted regarding surface and foul water drainage treatment and these details are considered of importance in securing an environmentally sensitive standard of development consistent with National Guidance and the first statutory aim of the National Park.

- 5. Septic Tank Covers:** No part of the septic tank/sewage treatment plant, other than inspection chamber covers and vents, shall be visible above finished ground level.

REASON: To ensure there is no impact on the setting of the Grade B Listed Building.

- 6. Short Term Holiday Accommodation:** The chalets hereby approved shall be used solely for short-term holiday use and not for permanent residential use. The chalets shall not be occupied by any one individual or group for a period exceeding 90 days in any one calendar year. A register of occupant's details (names and dates of stay) shall be kept and shall be made available to the National Park Authority on request.

REASON: The chalets have been assessed as a tourism development and the approval of permanent residences would be contrary to the policies contained in the adopted development plan.

- 7. Details of Landscaping:** Prior to the commencement of the development hereby permitted full details of both hard and soft landscaping works shall have been submitted to, and approved in writing by, the Planning Authority.

Hard landscape works shall include:

- Means of demarcating car parking areas
- Re-use of stone cobbles/setts
- hard surfacing materials
- lighting
- retained stone walls

Soft landscape works shall include:

- planting plans,
- written specifications (including cultivation and other operations associated with plant and grass establishment),
- schedules of plants/trees, noting species, plant sizes and proposed numbers/densities where appropriate and a programme of implementation.

REASON: The proposed development and its location requires landscaping to fully integrate the proposal with its surroundings and in order not to affect the setting of the listed building. Without such landscaping the proposal would be considered contrary to the provisions of the development plan.

- 8. Implementation of Landscaping:** Unless otherwise agreed in writing with the Planning Authority, all approved landscaping works shall be carried out not later than 12 months from the occupation of the buildings or the substantial completion of the development hereby permitted, whichever is the sooner. Any trees or plants which, within a period of 5 years thereafter, die are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar sizes and species unless the Planning Authority gives written consent to any variation.

REASON: The proposed development and its location requires landscaping to fully integrate the proposal with its surroundings. Without such landscaping the proposal would be considered contrary to the provisions of the development plan.

- 9. Landscape Management Plan:** A landscape management plan, including for all landscape areas, other than small, privately owned domestic gardens, shall be submitted to, and approved in writing by, the Planning Authority prior to the first occupation of the chalets hereby permitted. Thereafter the landscape management plan shall be implemented as approved.

REASON: To ensure a satisfactory standard of appearance of the development and to safeguard the visual amenities of the area.

- 10. Permitted Development (chalets):** Notwithstanding the provisions of Part 1 of Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (or any Order revoking or re-enacting that Order with or without modification) no material alterations or extensions shall be undertaken, nor shall any building or enclosure, hard surface, oil or gas storage tank, or satellite antenna be provided within the curtilage of the chalets hereby permitted, without application to, and the grant of permission by, the Planning Authority.

REASON: The chalets have been assessed as a tourism development and the planning authority considers that any further development should be subject to formal control in order to safeguard the amenities of the area.

- 11. Decking, Bin and bike shelter detail:** Prior to the commencement of work on the chalets hereby approved, a detailed specification and plans of the proposed decking areas and storage unit with bin and bike shelter, including samples of materials, shall be submitted to, and agreed in writing by, the Planning Authority. Thereafter the specification and materials as may be approved in accordance with this condition shall thereafter be undertaken and used respectively in the completion of the project, prior to the proposed development being brought into use.

REASON: Insufficient detail has been submitted regarding the decking and bin/bike shelters and these details are considered of importance in order to ensure integration of the proposal with its surroundings and in order not to affect the setting of the listed building

- 12. Samples of Materials:** Samples of the following specified external materials:

- Gravel for roads
- Gravel for paths
- Paviers

to be used in the development hereby permitted shall be submitted to, and approved in writing by, the Planning Authority before such materials are incorporated into the development and only materials of those types and colours shall be used.

REASON: For the avoidance of doubt and to ensure a satisfactory standard of appearance of the development.

- 13. Tree Method Statement:** Before the development is commenced, a method statement detailing measures to be taken during construction to protect the health of the existing trees shall be submitted to, and approved in writing by, the Planning Authority. The measures contained in the approved method statement shall be implemented in full throughout the construction phase.

REASON: To prevent damage to trees in the interests of the visual amenity of the area

- 14. Hours of Construction:** Where residential occupiers are likely to be affected by noise, construction works which are audible outwith the site boundary shall be undertaken during normal working hours, viz:- 08.00 to 18.00 hours Monday to Friday, and 09.00 to 13.00 hours on Saturdays. No noisy works audible outwith the site boundary are permitted on Sundays or Bank Holidays.

Agenda Item 6

REASON: To protect the occupants of nearby dwellings from excessive noise and disturbance associated with construction works.

- 15. Contaminated Land Investigation:** Prior to the commencement of the development hereby permitted, a comprehensive contaminated land investigation shall be submitted to, and approved in writing by, the Planning Authority in consultation with Environmental Health. The investigation shall be completed in accordance with a recognised code of practice such as British Standards Institution 'The investigation of potentially contaminated sites - Code of Practice (BS 10175:2011)' and must include a site specific risk assessment of all relevant pollutant linkages, as required in Scottish Executive Planning Advice Note 33. In particular, reference should be made within the report to risks presented by the former fuel tanks at the site, former potentially contaminative agricultural practices at the site (including any sheep dips, slurry tanks etc) and a former quarry located to the immediate North of the development site.

REASON: To ensure potential risks arising from previous site uses have been fully assessed.

- 16. Remediation Strategy:** Where the risk assessment required pursuant to condition 15 above identifies any unacceptable risk or risks as defined under Part IIA of the Environmental Protection Act 1990, a detailed remediation strategy shall be submitted to, and approved in writing by, the Planning Authority in consultation with Environmental Health. No works, other than investigative works, shall be carried out on the application site prior to receipt of the written approval of the remediation strategy by the Planning Authority.

REASON: To ensure the proposed remediation plan is suitable.

- 17. Undertaking of Remedial Works:** Remediation of the site shall be carried out in full accordance with the approved remediation plan. Any amendments to the approved remediation plan shall not be implemented unless approved in writing by the Planning Authority.

REASON: To ensure the remedial works are carried out to the agreed protocol.

- 18. Completion of Remedial Works:** On completion of the remediation works and prior to the first occupation of the buildings hereby approved, the developer shall submit a report to the Planning Authority confirming the works have been carried out in accordance with the remediation plan.

REASON: In order to provide verification the remediation has been carried out as approved by the Planning Authority.

- 19. Reporting Discovery of Contaminated Land:** The presence of any previously unsuspected or unencountered contamination that becomes evident during the development of the site shall be brought to the attention of the Planning Authority within one week. At this stage, a comprehensive contaminated land investigation shall be carried out if requested by the Planning Authority.

REASON: To ensure all contamination within the site is dealt with.

20. Wood Burning Stove: all wood burning stoves shall be installed and operated in accordance with manufacturer instructions, especially with regards to the use of the correct fuel.

REASON: To minimise the potential for smoke and smell nuisance at surrounding properties.

21. Road upgrade: Prior to the occupation of any of the dwellinghouses or chalets hereby permitted, a section of approximately 380m of Coldrach Lane, to the west of the entrance to Calandruin, shall be fully surfaced to the satisfaction of the Planning Authority in consultation with the Roads Authority, as shown on the approved drawing A35 / P-016A. A passing place shall be provided near each end of this section.

REASON: To ensure a suitable standard of access provision in the interests of highway safety.

22. Waste Pick-up Collection Point: Prior to the commencement of development hereby approved a revised site plan showing provision of a roadside collection point for bins shall be submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority.

REASON: To ensure provision of a suitable collection point for bins in keeping with the character of the listed buildings and in the interests of highway safety.

Informatives

- 1 Notification of Initiation of Development - Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. We recommend this is submitted 2 weeks prior to the start of work. A failure to submit the notice, included in the decision pack, would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.
- 2 Notification of Completion of Development - As soon as practicable after the development is complete, the person who completes the development is required by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give written notice to the planning authority of the completion of the building works. As before, there is notice for you to complete for this purpose included in the decision pack. In larger, phased developments, a notice of completion is to be submitted as soon as practicable after each phase is finished by the person carrying out the development.
- 3 Duration of permission - In accordance with section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), this permission lapses on the expiration of 3 years beginning from the date of this permission, unless the development to which this permission relates is begun before that expiration.