



PLANNING AND ACCESS COMMITTEE

MEETING: Monday 25th February 2019

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| SUBMITTED BY: | Director of Rural Development & Planning |
| APPLICATION NUMBER: | 2018/0210/DET |
| APPLICANT: | The Luss Estate Company |
| LOCATION: | Loch Lomond Arms Hotel Luss Alexandria G83 8NY |
| PROPOSAL: | Erection of hotel accommodation block. Erection of biomass plant (retrospective) |

| | |
|--------------------------------|--|
| NATIONAL PARK WARD: | Ward 5 (south west Loch Lomond) |
| COMMUNITY COUNCIL AREA: | Luss and Arden Community Council |
| CASE OFFICER: | Name: Amy Unitt Tel: 01389 722606 E-mail: amy.unitt@lochlomond-trossachs.org |

1. SUMMARY AND REASON FOR PRESENTATION

1. This is an application for the erection of a two storey, 16 room hotel accommodation block which would supplement the existing 14 room hotel accommodation at the Loch Lomond Arms Hotel in Luss. The application also includes a retrospective submission for a biomass plant which would be relocated within the site on construction of the accommodation block.
2. In accordance with section 5.6 of the National Park Authority's Scheme of Delegation, this application must be determined by the Planning and Access Committee as a statutory consultee, Luss and Arden Community Council, has formally objected and the officer recommendation is to approve.

2. RECOMMENDATION

2.1

That Members:

1. **APPROVE** the application subject to the conditions contained in Appendix 1 of the report.

3. BACKGROUND

Site Description:

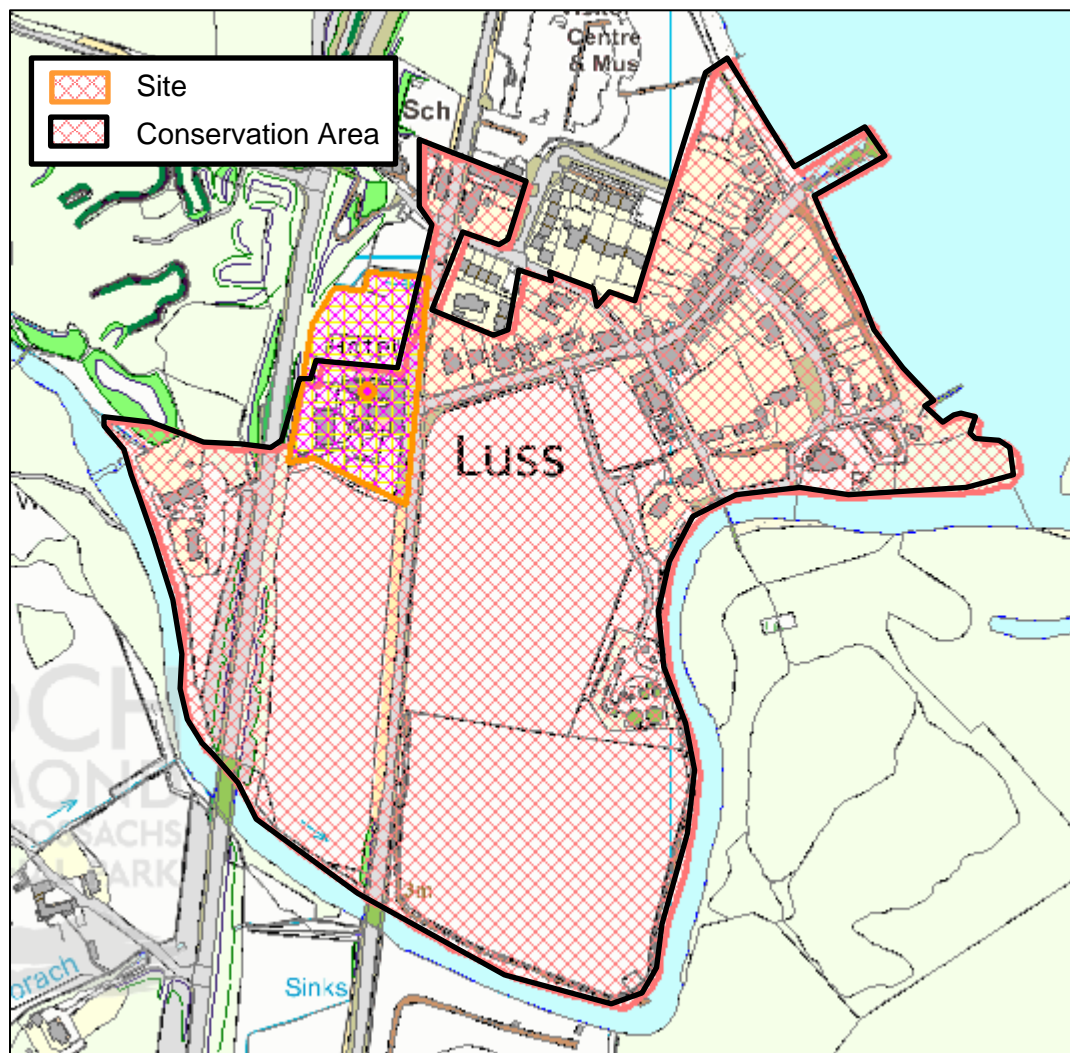
- 3.1 The proposed site is located at the head of the junction of Pier Road with the Old Military Road within the Village of Luss.



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Figure 1. Location Plan (wider context).

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- 3.2 Around half of the site is within Luss conservation area as shown in figure 2. The proposed accommodation block would be partially within the conservation area.



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Figure 2. Location Plan including conservation area

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- 3.3 Figure 3 shows the existing site plan with the following buildings:
1. Loch Lomond Arms Hotel, a category C listed 19th Century Inn providing a pub and 14 ensuite rooms across two and a half floors.
 2. Function room/restaurant
 3. Stone storage building
 4. Timber clad biomass plant building
 5. Timber storage shed
 6. Storage Container

Currently on site there is parking provision for 44 vehicles.

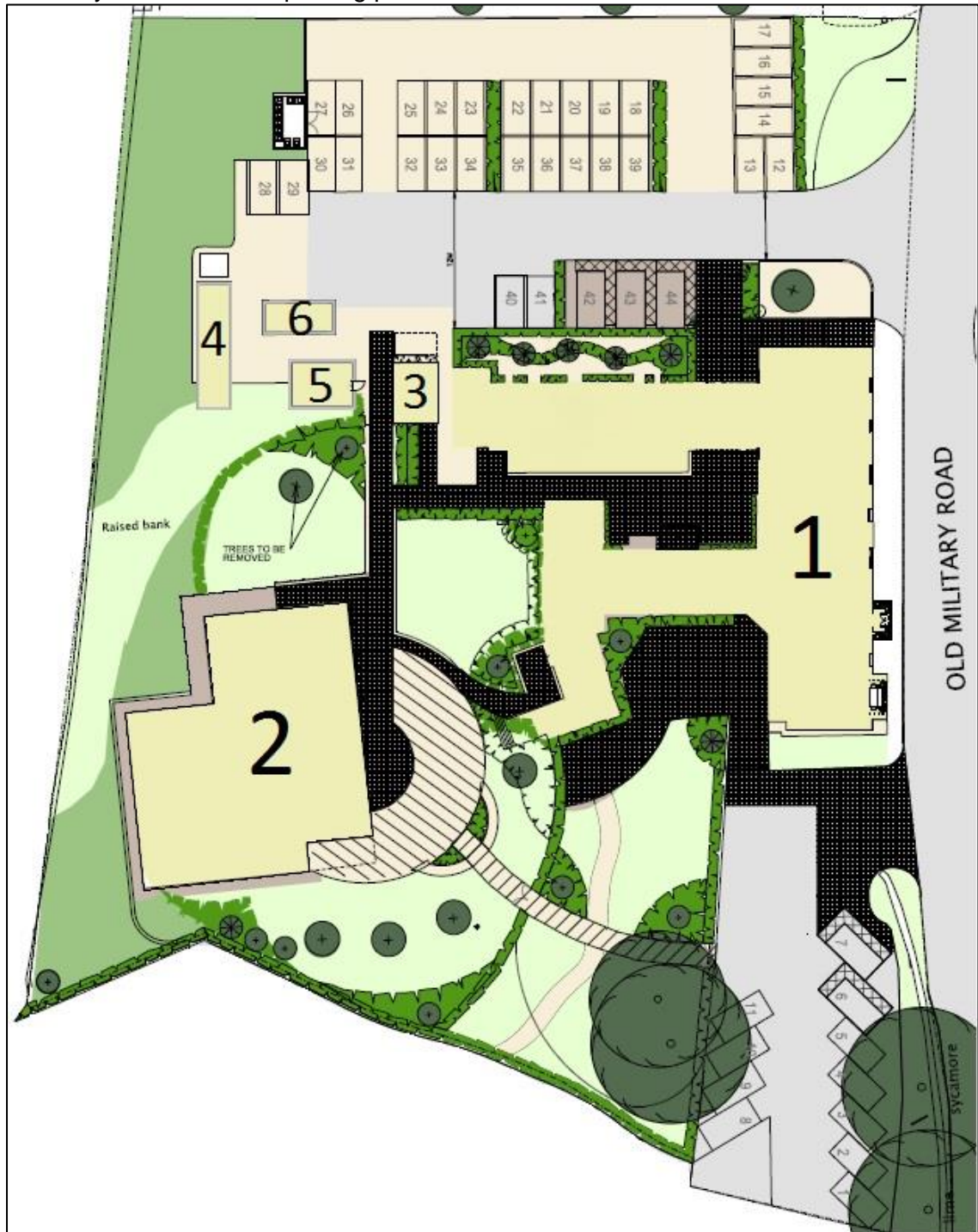


Figure 3. Existing Site Plan

Description of Proposal:

- 3.4 Figure 4 shows the location of the proposed two storey L shaped accommodation block (1) comprising 16 double bedrooms with ensuites. It would be located to the west of the site and set back from the listed building. A covered walkway (3) would be erected from the accommodation block to the existing hotel, it would not be physically attached to the hotel. The proposed biomass plant (2) would be relocated to the north of the site. Car parking would be increased to 73 parking spaces.



Figure 4. Site Plan (proposed)

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3.5 The proposed accommodation block would be two storeys tall, the wall would be rendered in rough cast painted to match the hotel and the roof would be slate with the projecting dormers clad in zinc. It is proposed for the windows to have red sandstone surrounds and the windows and doors would be grey powder coated aluminium. Figure 5 shows the proposed accommodation block in relation to the existing buildings. Figure 6 shows the proposed accommodation block elevations.



Figure 5. Proposed Site Elevations



Figure 6. Proposed Elevations Accommodation Block

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- 3.6 Figure 7 shows the proposed biomass plant elevations which would be timber clad and the timber would be stained in a dark colour.

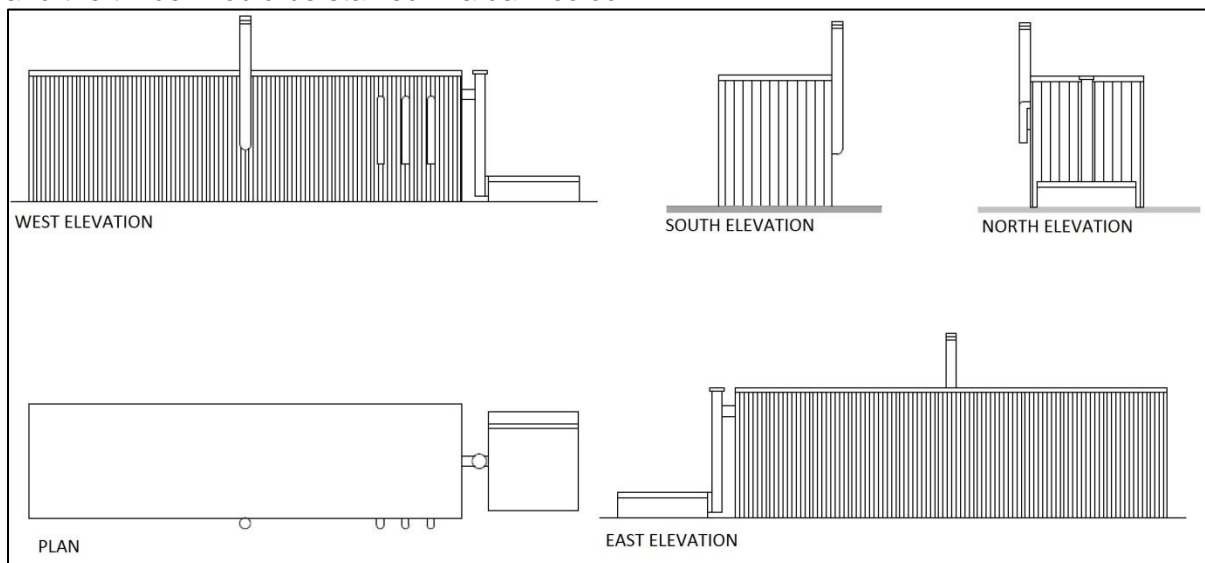


Figure 7. Proposed Elevations Biomass Plant

Environmental Impact Assessment (EIA):

- 3.7 The National Park is identified as a 'Sensitive Area' within the Environmental Impact Assessment (Scotland) Regulations 2017. In this particular instance it has been determined that an EIA is not required as the proposal is not identified within Schedule 2 of the Regulations.

Planning History:

- 3.8 There is an extensive planning history for this site dating back to the 1960's for demolitions, extensions, advertisements and other alterations.
- 3.9 The most recent planning history has been various permissions for the conversion and connection of two outbuildings to the Category C Listed Building between 2009 -2011 and an extension to the function room building in 2015 all of which have been implemented. In 2017 a small rear extension was approved but has not yet been implemented. This history is listed below:

2017/0199/LBC and 2017/0198/DET - Approve - 28 August 2017
Single storey extension to rear elevation of Loch Lomond Arms Hotel

2015/0153/DET - Approve - 19 June 2015
Extension to existing function room

2012/0187/LBC and 2012/0188/ADV - Approve - 3 October 2012
Installation of 1No. fascia sign, 1No. projecting sign & 3No. advance signs

2011/0150/DET - Approve - 20 April 2012
2011/0149/LBC - Approve - 24 May 2012
Amendment to Planning Permission 2009/0183/DET for Alterations to hotel including demolition of rear extension, erection of new rear extension, conversion of traditional outbuilding and formation of new car park

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2011/0120/LBC - Approve - 26 August 2011
Amendment to previous consent 2009/0184/LBC to include downtaking and re-construction of south gable wall and chimneyhead

2011/0032/LBC - Approve - 20 April 2011
Amendment to previous consent 2009/0184/LBC to include downtaking and re-construction of north gable wall and chimneyhead

2009/0203/CON - Approve - 27 November 2009
Demolition of the tearoom building and staff building.

2009/0184/LBC - Approve - 27 November 2009
2009/0183/DET - Approve - 2 December 2009
Alterations to hotel including demolition of the 20th Century rear extension and outbuildings, erection of new rear extension, conversion of traditional outbuilding and formation of new car park.

4 CONSULTATIONS AND REPRESENTATIONS

Responses to Consultations:

4.1 Scottish Water

No objections. There is sufficient capacity for water supply however foul water drainage cannot be confirmed. The applicant should carry out a pre-development enquiry and identify potential conflicts with Scottish Water assets on the site.

4.2 Argyll & Bute Council Roads Department

No objections, subject to a condition ensuring the proposed additional car parking is in place prior to the accommodation block coming into use. The proposed additional spaces are adequate for the proposed development.

4.3 Luss & Arden Community Council

Objection. Their letter states that due to ever-increasing seasonal traffic congestion and traffic management problems in Luss Village (and the corresponding deterioration in the quality of life experienced by local residents) it is the Community Council's policy to not support proposals for further business development within Luss which will attract additional vehicle movements until an overarching Traffic Management Plan for Luss village has been developed which removes circulating traffic from the village core. They request that any expansion of the site accommodation and associated parking provision (and the additional impact upon traffic congestion) should be considered in the context of this urgent requirement for a new Traffic Management Plan for Luss Village.

Representations Received:

4.4 At the date of writing this report one comment had been received in support of the application.

5 POLICY CONTEXT

National Park Aims:

5.1 The four statutory aims of the National Park are a material planning consideration.

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These are set out in Section 1 of the National Parks (Scotland) Act 2000 and are:

- a) to conserve and enhance the natural and cultural heritage of the area;
- b) to promote sustainable use of the natural resources of the area;
- c) to promote understanding and enjoyment (including enjoyment in the form of recreation) of the special qualities of the area by the public; and
- d) to promote sustainable economic and social development of the area's communities.

5.2 Section 9 of the Act then states that these aims should be achieved collectively. However, if in relation to any matter it appears to the National Park Authority that there is a conflict between the first aim, and the other National Park aims, greater weight must be given to the conservation and enhancement of the natural and cultural heritage of the area.

Local Development Plan:

5.3 Relevant policies:

OP1 - Overarching Policy 1: Strategic Principles

OP2 - Overarching Policy 2: Development Requirements

VE1 - Visitor Experience Policy 1: Location and Scale of new development

TP3 - Transport Policy 3: Impact Assessment and Design Standards of New Development

NEP 9 - Natural Environment Policy 9: Woodlands on or adjacent to development sites

NEP12 - Natural Environment Policy 12: Surface Water and Waste Water Management

HEP1 - Historic Environment Policy 1: Listed Buildings

HEP2 - Historic Environment Policy 2: Conservation Areas

Material considerations:

National Park Partnership Plan (2012-2017)

5.4 Relevant outcomes:

Outcome 8: Visitor Management

Priority 8.1: Visitor Management

Outcome 10: Placemaking

Priority 10.3: Improved Resilience

Outcome 11: Sustainable Growth

Priority 11.1: Low Carbon Economy

Supplementary Guidance

5.5 Design and Placemaking

West Loch Lomondside Rural Development Framework

Planning Guidance

5.6 Listed Buildings and Conservation Areas

Visitor Experience

6 SUMMARY OF SUPPORTING INFORMATION

6.1 Design and Access Statement

A short statement on the reasoning for the proposed design, including parking and materials.

7 PLANNING ASSESSMENT

7.1 The key issues for determination of this application are:

- The principle of development;
- Impact on the setting of the listed building;
- Impact on the conservation area;
- Traffic and Parking;
- Surface water and drainage;
- Trees; and
- Climate Friendly Design.

Principle of Development

7.2 Visitor Experience Policy 1 of the Local Development Plan supports expanded visitor accommodation where it is located in a town or village. The site is located within Luss Village boundary and therefore the proposed development is supported in principle subject to all relevant material planning considerations.

Impact on the Setting of the Listed Building and the Conservation Area

7.3 The proposed accommodation block is situated within the grounds of a Category C listed building, the Loch Lomond Arms Hotel. This is an early 19th century inn which was subject to substantial additions in the later 19th Century. In the last 10 years considerable works have been completed to renovate the building and bring it back into use.

7.4 The listed building sits prominently in the site at two and a half storeys high, approximately 8.5m tall and fronting the old military road. It is also a prominent feature of the conservation area, marking the head of Pier Road and the southern entrance to the village. Various single storey outbuildings directly to the rear of the hotel have been incorporated through extension and conversions to the main building. A single storey outbuilding to the south west of the site is utilised as a function room and restaurant. Car parking for 44 vehicles is primarily located to the north of the site with a small parking area in the south east corner. There are a number of trees and vegetation bordering the site with open grass to the north and more formal landscaping to the south.

7.5 The proposed accommodation block is to be 7.5 metres tall and sited to the rear of the hotel. The 'L' shaped footprint is partially set back from the line of the side elevation of the hotel and a length of approximately 15 metres of the proposed building would project forward from this line. The footprint of the proposed building is partially located within the conservation area. The proposed covered walkway would connect to the entrance of the accommodation block and would be adjacent to the rear of the hotel. This would allow residents to move from the main hotel to the accommodation under shelter. It is proposed for this to be constructed of timber posts with a clear plastic roof.

7.6 Although tall, the building is to be smaller than the main hotel building. The position to the rear of the site, in combination with the form and massing, would allow the proposed building to be subservient to the listed building. The siting is therefore appropriate to the character and setting of the listed building as well as the conservation area.

7.7 The materials proposed for the accommodation block take cues from both the listed building itself (Figure 8. slate roof, painted roughcast walls) and the recently constructed housing to the north of the site (Figure 9. projecting square zinc dormers,

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red sandstone surrounds, grey windows and doors). An architectural relationship to recent contemporary development in the village can be appropriate to ensure the qualities of the conservation area are not diluted through a background of varied design. However, it is also important that the proposed building is distinctly related to the qualities of the listed building to reinforce the associations of that building group.



Figure 8. Listed building materials



Figure 9. Housing to north of site

- 7.8 Should the application be supported by Members, it is recommended that the materials for the accommodation block and the covered walkway be further agreed through the addition of a planning condition on the planning permission to ensure the proposed window surrounds, render and slate match in colour and appearance to the listed building, that the detail of the proposed zinc dormers are as simple and slimline as possible and that the windows, doors and walkway are appropriate to the setting. It is further recommended that landscaping proposals are ensured through condition to strengthen the northern boundary of the site and increase the visual separation from the housing site.
- 7.9 The proposed biomass plant would be relocated to the north east corner of the site. It is currently finished in vertical timber cladding which has faded to grey and there are large silver flues on the west and north elevation. It is recommended that to ensure the biomass plant is visually recessive the colour of the timber cladding and matt flues are specified through imposition of a planning condition.

Traffic and Parking

- 7.10 Luss and Arden Community Council have objected to the proposed accommodation block on the grounds that the expansion of the accommodation provision, and the subsequent additional vehicle movements, will exacerbate traffic congestion within the village. They state that an overarching traffic management plan which removes circulating traffic from the village core is required before further development is considered.

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- 7.11 The Loch Lomond Arms Hotel is sited on the Old Military Road which is the main road in and out of Luss from the north and the south, connecting to the A82 in both directions. Any vehicular traffic arriving at the hotel would enter from this road, it would not be necessary for traffic associated with the hotel to circulate within the village core. Indeed as the village is small and accessible, it is around 400 metres on level road from the hotel to the end of the pier, and hotel guests would be reasonably expected to visit and experience the village on foot using the proposed extension to the hotel car park as the most convenient place to leave their vehicle.
- 7.12 Under the Roads (Scotland) Act 1984 it is local roads authority's duty, in this case Argyll & Bute Council, to maintain the public roads and implement any traffic management measures. The primary roads in Luss, Church Road, Pier Road, School Road and the Old Military Road, are all public roads and therefore Argyll and Bute Council are the relevant authority for the implementation of a traffic management plan.
- 7.13 As increased traffic for the hotel would not increase the circulation of traffic to the village core, and therefore would not further impact on residential amenity in that core village area, it is not considered that a traffic management plan is required in order to allow this development to proceed.
- 7.14 There is a large area of existing public parking, accessed from the Old Military Road, to the north east of the hotel. Poor parking provision within the village of Luss is identified as a problem in the West Loch Lomondside Rural Development Framework and it is acknowledged that the village experiences periods of high visitor numbers where the car park is full and overflow visitors park within the village, adversely impacting on residential amenity.
- 7.15 It is proposed to increase the overall parking provision from 44 to 73 spaces which has been calculated as follows:

| Use | Spaces required by floorspace or no. of rooms. | Floorspace or No. of rooms | No. of Spaces Required | No. of Spaces Proposed |
|----------------------------|---|-----------------------------------|-------------------------------|-------------------------------|
| Sitting Room | 10 spaces/100m ² | 39 m ² | 3.9 | 4 |
| Bar Area | 10 spaces/100m ² | 54 m ² | 5.4 | 6 |
| Restaurant in hotel | 20 spaces/100m ² | 45 m ² | 9 | 9 |
| Function Room | 20 spaces/100m ² | 119 m ² | 23.8 | 24 |
| Bedrooms | 1 per room | 30 | 30 | 30 |
| Total | | | 72.1 | 73 |

- 7.16 Argyll & Bute Council roads authority have not objected to this application, and have advised the level of parking proposed is acceptable for the level of accommodation proposed.
- 7.17 It is noted that the current level of parking, 44 spaces, is not in accordance with the previous permission, ref: 2011/0150/DET, which agreed a layout of 52 spaces. This is due to the unauthorised erection of buildings, including the biomass plant, within the agreed parking area. The proposed site layout, removing two of these additional buildings and relocating the biomass plant, would resolve this issue and bring the level of parking back to an appropriate level.

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- 7.18 A condition is recommended to ensure that adequate parking spaces are maintained throughout construction of the accommodation block and in perpetuity when it is brought into operation. Subject to compliance with these conditions the proposed development will not adversely impact on the current parking provision, and therefore the circulation of traffic, within the village.

Surface Water and Drainage

- 7.19 Natural Environment Policy 12 requires that new development minimises areas of impermeable surface and additional surface water should be considered. It is proposed for surface water from the accommodation block to be drained to a soakaway just south of the accommodation block. The proposed additional car parking area would be made of permeable gravel. To ensure the surface water is adequately managed, further details of the soakaway should be secured through condition.

Trees

- 7.20 It is proposed to remove 5 young trees which were previously planted as part of a landscaping scheme for the redevelopment of the hotel. Compensatory planting can be agreed through a condition for a new landscape scheme. The proposed accommodation block is to be constructed in close proximity to an existing tree line and tree protection should be secured through condition.

Climate Friendly Design

- 7.21 Overarching Policy 2 of the Local Development Plan requires all new development to incorporate climate friendly design. This is in the form of minimising overall energy requirements and through the incorporation of low or zero carbon technologies to meet 10% of all energy requirements.
- 7.22 The proposed biomass plant would provide heating and hot water for all of the existing accommodation on site as well as the proposed accommodation block, meeting 100% of the energy requirements for the site.
- 7.23 The siting of the building in terms of solar gain and wind shelter on the site has been limited due to the need to be sensitive to the setting of the listed building and the conservation area. That being said, the proposed accommodation block will be of modern construction (with modern insulation standards) and is to be situated in a sheltered position to the rear of the site. The proposal therefore accords with this element of Overarching Policy 2.

8 CONCLUSION

- 8.1 The proposal complies with Visitor Experience Policy 1 as it is for expanded visitor accommodation for an existing hotel business within a village. In terms of siting, massing and form the proposed accommodation block and biomass plant will have no adverse impact on the setting of the listed building or on the conservation area. If granted, further details should be required by condition for the proposed materials and landscaping. Adequate parking provision throughout construction and on operation of the accommodation block should be secured through condition in order to safeguard the amenity of the area.

Background <http://www.lochlomond-trossachs.org/planning/>

Documents: Click on view applications, accept the terms and conditions then enter the search criteria as “2018/0210/DET”

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List of Appendices: **Appendix 1 Conditions and Informatives**

APPENDIX 1: Conditions and Informatives

Conditions:

1. **Agreement of Materials and Specifications:** Prior to the commencement of the development hereby approved, a further detailed specification of the undernoted proposed external finishing materials to be utilised on the building, including samples as indicated shall be submitted to, and agreed in writing by, the Planning Authority. Thereafter the specification and materials as may be approved in accordance with this condition shall thereafter be undertaken and used respectively in the completion of the project, prior to the proposed development being brought into use.
 - a) The natural slate to be used on all roof surfaces of the building (sample of slate and details relating to the sizes of slate proposed and laying method to be submitted);
 - b) The design, style and finished appearance of the windows and doors;
 - c) The natural stone to be used on the window surrounds(sample required);
 - d) Detailed drawings at scale 1:50 of the proposed projecting dormers including annotated details of the proposed materials;
 - e) Detailed drawings of the proposed external walkway including annotated details of the proposed materials;
 - f) The colour/treatment/finishes of the timber and flues on the biomass plant;
 - g) The colour/treatment/finishes of all exposed timberwork; and
 - h) The details of the material and colour of rainwater goods, barge boards and fascias.

REASON: To ensure that the external appearance of the development complements the character of the conservation area and the setting of the listed building in accordance with Historic Environment Policies 1 and 2.

2. **Details of Landscaping:** Prior to the commencement of construction works within the development site, a landscape scheme/plan shall be submitted to, and approved in writing by, the Planning Authority. The said scheme/plan (at a scale of 1:500 or greater) shall include:
 - a) Planting proposals to strengthen the northern boundary;
 - b) proposed finished levels or contours;
 - c) any new hardstanding in access and car parking surfacing materials, pedestrian areas/paths;
 - d) any new walls, fences, hedges, gates;
 - e) any minor structures (e.g. furniture, play equipment, refuse or other storage units);
 - f) existing trees and hedgerows to be integrated into the scheme;
 - g) retained historic landscape features and proposals for restoration, where relevant; and
 - h) planting plans and written specifications (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate.

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REASON: The proposed development and its location requires landscaping to fully integrate the proposal with its surroundings. Without such landscaping the proposal would be considered contrary to the provisions of the development plan.

3. **Implementation of Landscaping:** Within the planting season following the date of the accommodation block hereby permitted coming into use the landscaping shall be undertaken in accordance with the landscape scheme/plan approved under condition 2. Any trees or plants forming part of the approved landscape scheme which die, are removed or become seriously damaged or diseased, within a period of 5 years from the date of their planting, shall be replaced in the next planting season with others of similar sizes and species unless the Planning Authority gives written approval to any variation.

REASON: The proposed development and its location requires landscaping to fully integrate the proposal with its surroundings. Without such landscaping the proposal would be considered contrary to the provisions of the local development plan.

4. **Parking:** Prior to the first operation of the accommodation block hereby approved, the vehicular parking shall be constructed in accordance with the approved proposed site plan (drawing number 1645-sk112 rev M) received by the Planning Authority on 06 February 2019. The aforementioned parking spaces shall thereafter be retained and capable of use at all times and shall not be removed or altered without the prior written approval of the Planning Authority.

REASON: To ensure adequate parking provision is provided for the level of accommodation hereby approved.

5. **Construction Method Statement:** Prior to commencement of the development hereby approved, a Construction Method Statement (CMS) shall be submitted to, and approved in writing by, the Planning Authority. The CMS shall detail the following:
 - a) The location of the site compound and the parking area for vehicles of site operatives and visitors and loading and unloading of plant and materials;
 - b) The number of public parking spaces which will be available during construction;
 - c) The location of the storage area for plant and materials used in constructing the development; and
 - d) Construction timetable.

Thereafter all works shall be carried out in accordance with the agreed Construction Method Statement.

REASON: To minimise disturbance to the amenity of the village during construction.

6. **Surface Water Drainage:** Prior to the commencement of the development hereby permitted full details of the provision of a system of surface water drainage shall be submitted to, and approved in writing by, the Planning Authority.

REASON: To ensure that the development, once occupied, conforms with the appropriate standards of the Argyll and Bute Flood Prevention Authority.

7. **Protection of Existing Trees:** All trees within the vicinity of the construction site shall be protected during the course of the development by the erection of fencing in accordance with British Standard BS 5837(2012) 'Trees in Relation to Design, Demolition and Construction', or by such other means of protection as shall be

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agreed in writing with the Planning Authority. No storage of building materials or piling of soil shall take place within the protected areas established pursuant to this condition.

REASON: To protect established trees against accidental damage during the course of the development.

- 8. Biomass Plant:** The energy requirements for heating and hot water for the accommodation block hereby approved shall be provided by the biomass plant hereby approved unless otherwise approved in writing with the planning authority.

REASON: To ensure the development is operated as proposed and in accordance with Overarching Policy 2, Climate Friendly Design part b.

List of Plans

| Title | Reference | Date Received |
|----------------------------------|-------------------|---------------|
| Proposed Floor Plans | 1645-SK 113 Rev D | 10/07/18 |
| Proposed elevations and sections | 1645-SK 117 | 10/07/18 |
| Location Plan | 1645-17 Rev C | 26/07/18 |
| Proposed Elevations | 1645-SK 116 Rev A | 26/07/18 |
| Existing Site Elevations | 1645-SK 119 Rev A | 17/08/18 |
| Existing Site Plan | 1645-sk114 rev G | 21/12/18 |
| Proposed Site Plan | 1645-sk112 rev M | 06/02/19 |
| Proposed Site Elevations | 1645-sk118 rev A | 06/02/19 |

Informatives

1 Duration of permission - In accordance with section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), this permission lapses on the expiration of 3 years beginning from the date of this permission, unless the development to which this permission relates is begun before that expiration.

2 Notification of Initiation of Development - Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. We recommend this is submitted 2 weeks prior to the start of work. A failure to submit the notice, included in the decision pack, would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.

3 Notification of Completion of Development - As soon as practicable after the development is complete, the person who completes the development is required by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give written notice to the planning authority of the completion of the building works. As before, there is notice for you to complete for this purpose included in the decision pack. In larger, phased developments, a notice of completion is to be submitted as soon as practicable after each phase is finished by the person carrying out the development.

4 Foul Drainage/Water Supply - This permission does not relate to the provision of foul drainage facilities and public water connection. In the event that the proposed development cannot be connected to the public water and wastewater network then contact SEPA and ourselves in order to clarify whether a further planning application or other consents would be required for installation of separate private foul drainage facilities or water supply.