

Auchendennan Farm, Arden

Agenda Item 4

National Park Authority Planning and Access Committee
Monday 26th April 2021



SUBMITTED BY:	Director of Place
APPLICATION NUMBER:	2020/0331/HAE
APPLICANT:	Mr. David McCowan
LOCATION:	Auchendennan Farm, Arden
PROPOSAL:	Erection of two storey extension and raised decking to dwellinghouse

NATIONAL PARK WARD:	Ward 5
COMMUNITY COUNCIL AREA:	Luss and Arden
CASE OFFICER:	Name: Craig Jardine Tel: 01389 722020 E-mail: craig.jardine@lochlomond-trossachs.org

1. SUMMARY AND REASON FOR PRESENTATION

- 1.1 The application under consideration is for the erection of a two storey side extension and raised decking platform to the existing house at Auchendennan Farm.
- 1.2 In accordance with the National Park Authority's Scheme of Delegation, this application is being presented to the Committee as it has been made by a Board Member of the National Park Authority.

2. RECOMMENDATION

That Members:

1. **APPROVE** the application subject to the imposition of the condition set out in Appendix 1 of the report.

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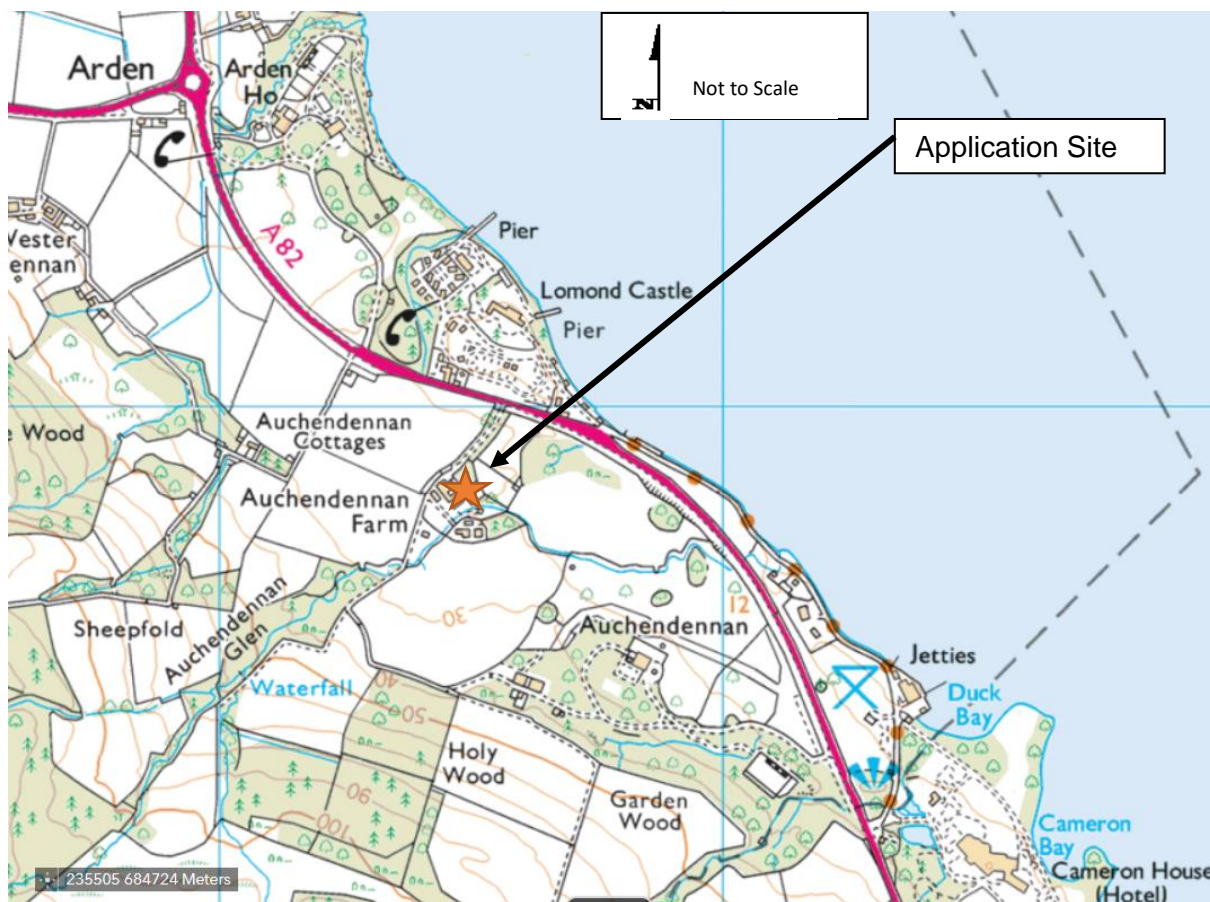
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3 BACKGROUND

Site Description:

- 3.1 Auchendennan Farm is situated 1 kilometre south-east of the Arden roundabout on the west side of the A82 Trunk Road, as indicated by the red star in Figure 1 below. Auchendennan Farm is served by an existing private access road off the A82. This access road has previously been widened and surfaced to comply with the Roads Authority's requirements and the application site benefits from its own separate vehicle parking.



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Figure 1. Locational Context - Auchendennan Farm

- 3.2 Auchendennan Farm comprises of agricultural land and a collection of associated buildings. The central building grouping (see Figure 2 below) consists of a traditional farm courtyard which includes the main farmhouse (subject of this application), and former stables and stores (largely converted to holiday accommodation units).

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Figure 2. Aerial Image

- 3.3 The application site, (delineated with a red line in Figure 3 below) relates to the property and curtilage of Auchendennan Farmhouse, a traditional two-storey farmhouse with single storey wings, constructed of rubble stone walling with ashlar red sandstone quoins and margins, slate roof and opposing chimneys (as shown in Plates 1 & 2 further below).

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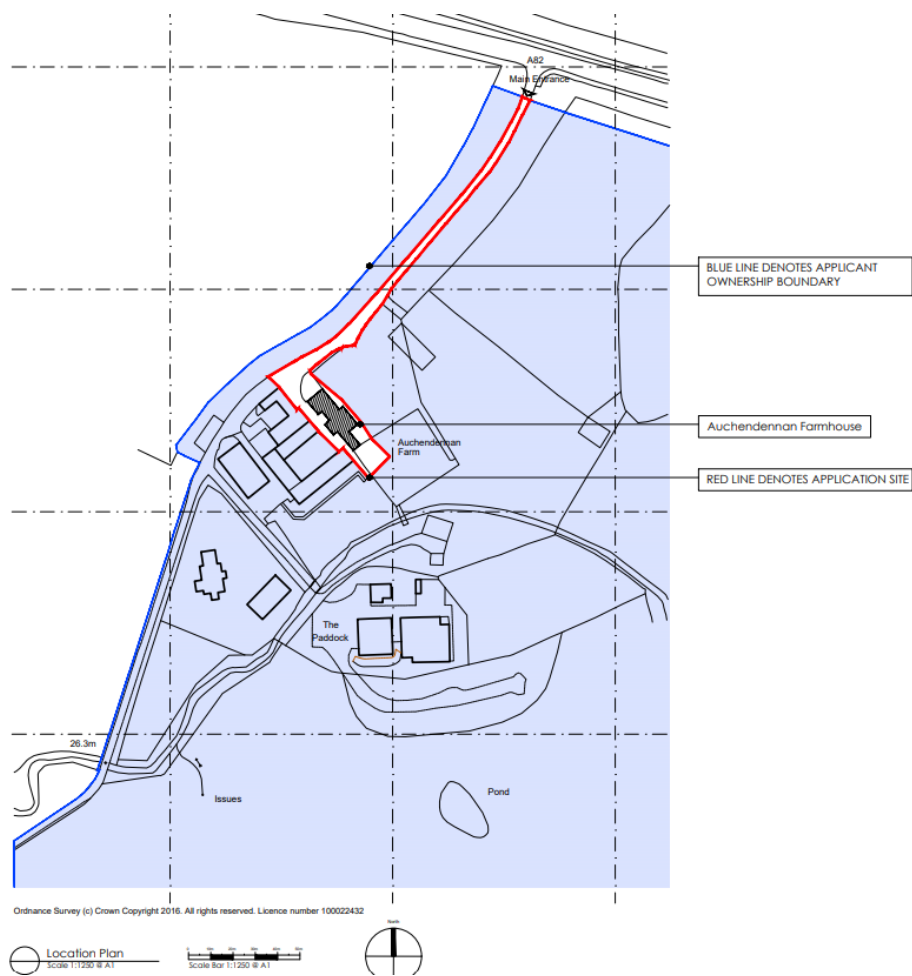


Figure 3. Location Plan

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Plate 1. Front (north-east) Elevation of existing house and single storey south-east wing.
(Opposing single storey wing to the north-west [on right-hand of image] is a separate holiday let unit).



Plate 2. Rear (south-west) Elevation.

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Description of Proposal:

- 3.4 The development proposed is for the erection of a two-storey side extension to the main house (to replace the existing south-east single storey wing). The new extension would have an approximate floorspace of 160 square metres, and along with internal alterations, seeks to provide enhanced accommodation over the two floors of the house, as extended. Beyond the gable of the proposed extension the ground level slopes downwards. A raised decking platform (the width of the extension and projecting 4 metres) is proposed to provide level access from the ground floor of the extension to the garden. Due to the height of the platform above ground level, the proposed deck requires planning permission, and is therefore included in the proposal description. Other alterations are proposed to the rear elevation of the house (e.g. removal of glazed extension, with replacement canopy, and alterations to openings on the rear elevation); however, these do not require planning permission and are therefore not under consideration or addressed by this report.



Figure 4. Site Plans - Existing (left-hand image) & Proposed (right-hand image)

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Figure 5. Proposed Downtakings – Front & Rear Elevations

- 3.5 The proposed extension would provide a master bedroom bedroom with en-suite on the upper floor and open plan living/dining space and kitchen on the ground floor (shown in Figure 6 below)

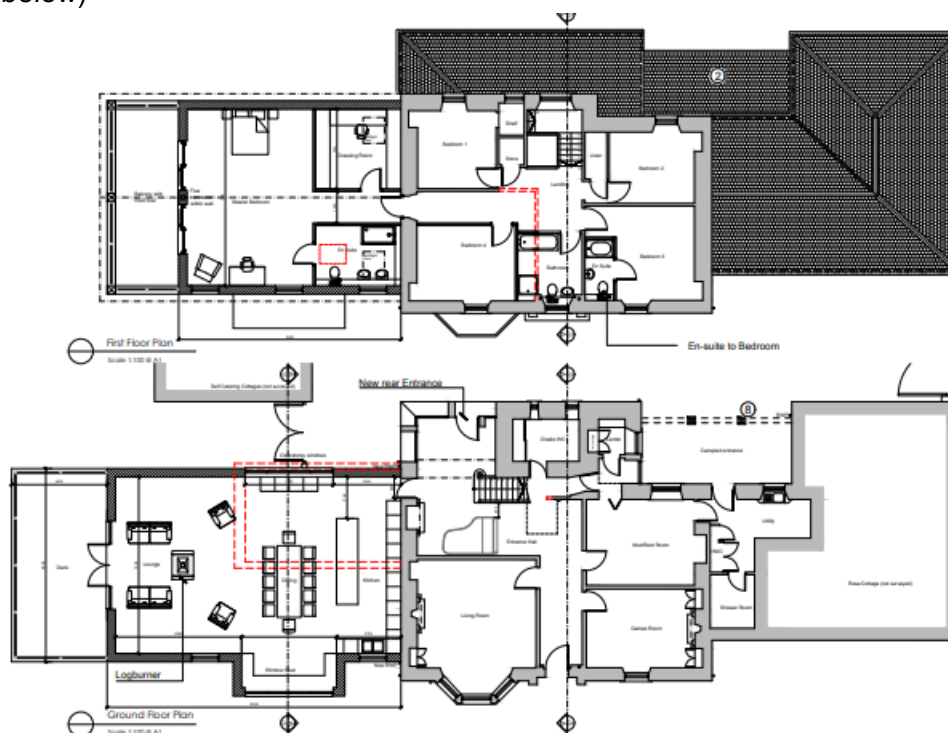


Figure 6. Proposed Floor Plans

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Figure 7. Proposed Elevations

3.6 The proposed main external finishes for the extension would comprise of white rendered walls, ashlar red sandstone bay, quoins and margins, slate roof and white framed timber windows and doors to match the existing house (as shown in Figure 7 above and Figure 8 below).



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Figure 8. Visualisations - Front & Rear Elevations (extract from Organic Architects submitted Design Statement)

- 3.7 No changes are proposed to the access or parking arrangements for the extended dwelling.
- 3.8 No trees would be affected by the development

Planning History:

- 3.9 There has been no previous planning history for this particular property.

There has been previous planning applications within the applicant's larger site ownership of Auchendennan Farm which principally relate to the creation of holiday let accommodation. Biomass heating facilities and the erection of a dwellinghouse.

4. **ENVIRONMENTAL IMPACT ASSESSMENT (EIA) AND HABITAT REGULATIONS ASSESSMENT:**

Environmental Impact Assessment (EIA)

- 4.1 For the purposes of the Environmental Impact Assessment (Scotland) Regulations 2017 the National Park is identified as a 'Sensitive Area'. As a 'Competent Body' the National Park Authority has a statutory duty to consider whether proposals for development should be subject to the EIA process.

The proposal does not fall under any of the Schedules within the Regulations so it does not require to be screened for an EIA.

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5 CONSULTATIONS AND REPRESENTATIONS

Responses to Consultations:

- 5.1 Petro Ineos (High Pressure Gas Pipeline) – No objections.

Representations Received:

- 5.2 At the date of the preparation of this report no representations had been received.

6. POLICY CONTEXT

The Development Plan:

- 6.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 states that planning applications are to be determined in accordance with the Development Plan unless other material considerations indicate otherwise. The Development Plan comprises the Loch Lomond & The Trossachs National Park Local Development Plan (LDP) (adopted 2017) and Supplementary Guidance (SG).

Local Development Plan (2017-2022)

- 6.2 The Local Development Plan (LDP) sets out the vision for how the National Park should change over the next 20 years. The LDP covers the period from 2017 to 2026 is updated every 5 years.
- 6.3 The following LDP Policies are relevant to the determination of this application:
- Overarching Policy 1: OP1 – Strategic Principles
 - Overarching Policy 2: OP2 – Development Requirements
 - Historic Environment Policy 3 – Wider Built Environment & Cultural Heritage
 - Natural Environment Policy 4 – Legally Protected Species

- 6.4 Full details of the policies can be viewed at: <http://www.lochlomond-trossachs.org/planning/planning-guidance/local-development-plan/>

Supplementary Guidance

- 6.5 The adopted Supplementary Guidance provides support to the policies of the LDP and carries the same weight in the determination of applications. The Supplementary Guidance of relevance to this application comprises:
- Design & Placemaking

Other Material Considerations:

National Park Aims:

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6.6 The four statutory aims of the National Park are a material planning consideration. These are set out in Section 1 of the National Parks (Scotland) Act 2000 and are:

- (a) to conserve and enhance the natural and cultural heritage of the area;
- (b) to promote sustainable use of the natural resources of the area;
- (c) to promote understanding and enjoyment (including enjoyment in the form of recreation) of the special qualities of the area by the public; and
- (d) to promote sustainable economic and social development of the area's communities.

6.7 Section 9 of the Act then states that these aims should be achieved collectively. However, if in relation to any matter it appears to the National Park Authority that there is a conflict between the first aim, and the other National Park aims, greater weight must be given to the conservation and enhancement of the natural and cultural heritage of the area.

Planning Guidance

6.8 None relevant to this proposal.

National Park Partnership Plan (2012-2017):

6.9 All planning decisions within the National Park require to be guided by the policies of the Partnership Plan, where they are considered to be material, in order to ensure that they are consistent with the Park's statutory aims. In this respect no policies are material to this proposal.

Scottish Planning Policy (SPP):

6.10 The SPP is a statement of Scottish Government policy on how nationally important land use planning matters should be addressed across the country. It is non-statutory but directly relates to the determination of planning applications and appeals. As a statement of Ministers' priorities the content of the SPP is a material consideration that carries significant weight, though it is for the decision-maker to determine the appropriate weight in each case.

7. SUMMARY OF SUPPORTING INFORMATION

7.1 The applicant has submitted the following documentation in support of the planning application:

Design Statement (by *Organic Architects*, received 18th Dec 2020)

Statement setting out the design approach and rationale for the proposed development.

Bat Survey (by *Tay Ecology*, dated 23rd Nov 2020)

Report of the bat survey undertaken involving a full internal and external survey with all areas accessible to survey. The survey found no signs of bats or bat roosts across any elevation, nor

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within the roof space and hibernation assessment demonstrated a negligible potential for hibernating bats. The report concludes that no further surveys are recommended at this time.

8. PLANNING ASSESSMENT

8.1 The key issues for consideration in the determination of this application are...

Principle of Development

Siting and design

Natural Heritage

Other Material Considerations

Principle of Development

8.2 Proposals for house extensions are supported, in principle, where they accord with the Overarching Policies of the National Park's Local Development Plan and the associated Supplementary Guidance on Design & Placemaking.

8.3 This aforementioned policy and guidance, as relevant to this proposal, seeks to ensure that such developments are sited and designed to respect the amenity of neighbouring uses, protect sensitive landscape and visual amenity and avoid, or minimise, impacts on the natural environment. In addition, the policy and guidance sets out the aims for all development to contribute towards high quality, climate friendly design that relates well, and is sympathetic to, its built environment and surroundings.

8.4 It is considered that the principle of the proposed house extension raises no issues with respect to the abovementioned policy and guidance. These matters and the detailed siting and design considerations of the proposed development are addressed more fully in the following paragraphs.

Siting and Design

8.5 To facilitate the proposed extension, on the south-east facing gable of the main house, the existing single-storey extension is proposed for demolition. This demolition would not require planning permission. The proposed extension would be suitably accommodated within the extensive garden curtilage of the property, whilst retaining acceptable separation distances to the adjacent holiday let accommodation to the south-east and to the south-west of the house (all owned and operated by the applicant). Furthermore, the south-east facing aspect of the glazed elements of the extension seek to maximise passive solar gain to the advantage of enhancing resource efficiency of the new build. Therefore, the proposed siting of the extension raises no material planning issues with respect to the relevant terms of Overarching Policy 1 and 2 of the National Park's Local Development Plan and the associated Supplementary Guidance on Design & Placemaking.

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- 8.6 The form of the proposed extension seeks to maximise floor space whilst still being subordinate in scale and form to the traditional two storey house. It is considered that the design successfully achieves this with the recognised architectural approach of setting the front elevation and ridge below that of the main house, whilst maintaining a matching roof pitch to that of the main house. The balcony on the upper floor further assists in reducing the massing of the extension. Overall, the proportions and styles of fenestration and detailing on the principal (front) elevation of the extension would be sympathetic to those of the main house. There has been some allowance for contemporary design and detailing on the upper floor, gable (south-east) and rear (south-west) elevations. It is considered that these contemporary elements do not dilute the overall traditional architectural composition, as viewed on approach towards the principal (front) elevation, and otherwise do not detract from the traditional vernacular of the existing building. It is considered that this design approach is acceptable and the mix of traditional and modern has struck the correct balance for this context.
- 8.7 Furthermore, the proposed design seeks to be sympathetic to the materiality of the main house with matching slate roof and ashlar red sandstone detailing; whilst also providing contrasting white rendered walls, so as to distinguish the extension clearly as a contemporary later addition.
- 8.8 The limited fenestration on the rear elevation assists in protecting the privacy of the house and also the occupants of the adjacent holiday let accommodation to the rear.
- 8.9 The use of on-site renewable energy (solar photovoltaic panels and biomass) for the heating/energy needs of the house, the improved modern insulation levels that the proposed extension would provide over that of the existing single storey wing, and the thermally efficient use of solar gain in the design (as referred to above) - all demonstrates that the future carbon footprint and sustainability of the building has been satisfactorily incorporated to meet the terms of Overarching Policy 2 of the National Park's Local Development Plan.
- 8.10 Overall, the extension is considered to be acceptable, subject to a further condition requiring final approval of the principal external materials (see condition no.1 in Appendix 1) to ensure that these are of a high quality and are appropriately sympathetic to those of the main house. Subject to the aforementioned planning condition, the siting and design of the proposals accord with terms of Overarching Policy 1 of the National Park's Local Development Plan and the associated Supplementary Guidance on Design & Placemaking, and complies with Historic Environment Policy 3, which aims to protect the Park's built heritage.

Natural Heritage

- 8.11 Policy NEP4 requires all developments to avoid adverse impacts on any protected species. The applicant has commissioned a bat survey of the building to determine whether this species is present and no signs of bats or bat roosts was found. The National Park's Natural Heritage Planning Adviser has assessed the bat survey report and has confirmed that they are satisfied with its findings and as such there is no requirement for any additional surveys to be carried out prior to determination of this application. The applicant's attention is drawn to the recommended Informative no.4 (in Appendix 1) highlighting good practice with respect to bat

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surveys and to advise of the correct procedure with respect to breeding birds, to ensure that no offences are committed under protected species legislation.

- 8.12 The proposed siting of the extension avoids any adverse impacts on any trees with only a small extent of shrub and bed planting affected. The proposal therefore raises no material planning issues with respect to Policy NEP8, which requires development to avoid loss and/or damage to trees. Furthermore, the site enjoys extensive existing tree coverage within the garden and boundaries of the site which encloses the site from wider or localised views. Therefore, it is not considered necessary for any new additional planting to be required to make the proposal acceptable - either for biodiversity enhancement or to integrate the proposed development. Notwithstanding this, the applicant has intimated that they would nonetheless propose to undertake additional planting within the garden curtilage, should the proposed development be approved.

Other Material Considerations

- 8.13 The proposal raises no other material planning considerations that require to be taken into account in the assessment of this application.

9. CONCLUSION

- 9.1 In conclusion, the proposed house extension is of an acceptable siting, form and design that is appropriately sympathetic to the architectural quality of the existing house, its setting, and the rural character of the site. Furthermore, the proposed use would not result in any adverse impact on the natural heritage of the area or the amenity of neighbouring holiday accommodation uses and does not raise any other material planning issues. As such, the proposal is supported by the policies and supplementary guidance of the National Park's Local Development Plan 2017 – 2021. The application raises no issues with respect to the National Park Aims. Therefore, in accordance with Section 25 of the Town and Country Planning (Scotland) Act 1997 it is recommended that planning permission be approved, subject to the condition contained in Appendix 1.

Background <http://www.lochlomond-trossachs.org/planning/>

Documents: ***Click on view applications, accept the terms and conditions then enter the search criteria as '2020/0331/HAE'***

List of Appendices: ***Appendix 1: Condition & Informatives / List of Plans***

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Appendix 1

Condition

1. **Agreement of Materials and Specifications:** Prior to their installation, a further detailed specification of the undernoted proposed external finishing materials to be utilised on the building and site, including samples as indicated, shall be submitted to, or made available for inspection, and subsequently agreed in writing by, the Planning Authority. Thereafter the specification and materials as may be approved in accordance with this condition shall be followed in the completion of the project and prior to first occupation.
 - a) The stone to be used on the bay window, quoins and margins - sample of stone and details of proposed methods of sizing and coursing;
 - b) The render to be used on the main walls – sample panel of the proposed render and details of the proposed colour/finish expressed as an RAL or British Standards colour code;
 - c) The slate roofing – specifications/details and sample (to match the appearance, sizing and coursing specification details of the main roof of the existing house); and
 - d) The windows, doors and rooflights to be installed - detailed specification/product details to be submitted including colour/finish expressed as an RAL or British Standards colour code.

REASON: To ensure that the external appearance of the development complements the rural character of the area and the building. To ensure the implementation of the development in accordance with the further details as may be approved in compliance with the conditions attached to this permission.

Informatives

1. **Duration of permission:** In accordance with section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), this permission lapses on the expiration of 3 years beginning from the date of this permission, unless the development to which this permission relates is begun before that expiration.
2. **Notification of Initiation of Development:** Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. We recommend this is submitted 2 weeks prior to the start of work. A failure to submit the notice, included in the decision pack, would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.

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3. **Notification of Completion of Development:** As soon as practicable after the development is complete, the person who completes the development is required by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give written notice to the planning authority of the completion of the building works. As before, there is notice for you to complete for this purpose included in the decision pack. In larger, phased developments, a notice of completion is to be submitted as soon as practicable after each phase is finished by the person carrying out the development.
4. **Protected Species in Vicinity** – Bats and Breeding Birds are known to be in the vicinity of the proposed development. Please be aware that they are fully protected, and it is an offence to deliberately, capture, injure or kill them or to damage, destroy or obstruct their breeding or resting places. It is also an offence to disturb them in their breeding or resting places. Best practice for bat surveys recommends that if the construction of the development has not commenced before 23rd May 2022 a pre-works survey should be undertaken by a suitably qualified ecologist immediately prior to the works commencing, with a re-check undertaken for any works delayed longer than 6 months. It is recommended that the works take place outwith normal bird breeding season (March to July inclusive) or, for swallows (April to September inclusive) unless absence of nests has first been established.

List of Plans

Title	Reference	Date Received
Location Plan	688(L)000B	27/01/21
Site Plan Existing and Proposed	688 (L) 001	18/12/20
Plan Existing Plans, Elevations and Section	688 (L) 002	18/12/20
Plan Downtaking - Plans, Elevations and Section	688 (L) 003	18/12/20
Plan Proposed Plans, Elevations and Section	688 (L) 005	18/12/20