



# Planning and Access Committee

Meeting: Monday 30<sup>th</sup> October 2023

Agenda item: 5

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**SUBMITTED BY:** Director of Place

<b>APPLICATION NUMBER:</b>	2023/0245/DET
<b>APPLICANT:</b>	Mrs Amber Thomson
<b>LOCATION:</b>	Land To South Of Blarnaboard Barn Cottage Gartmore Stirling FK8 3SE
<b>PROPOSAL:</b>	Erection of stable, formation of access and parking area
<b>NATIONAL PARK WARD:</b>	Ward 4 - East Loch Lomond and Port of Menteith
<b>COMMUNITY COUNCIL AREA</b>	Gartmore
<b>CASE OFFICER:</b>	Name: Craig Jardine Tel: 01389 722020 E-mail: craig.jardine@lochlomond-trossachs.org

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**1. Summary and reason for presentation**

1.1. The planning application is for the change of use of a field to equestrian use and the erection of horse stables, with associated vehicle parking area, within a countryside location to the north-west of Gartmore village.

1.2. The planning application is being presented to the Planning and Access Committee as Gartmore Community Council has lodged an objection to the application. In accordance with the National Park Authority’s Scheme of Delegation Section 5.6, applications require to be referred to Members for determination where a statutory consultee, including the Community Council, has formally objected on valid planning grounds and where the officer recommendation is to approve.

**2. Recommendation**

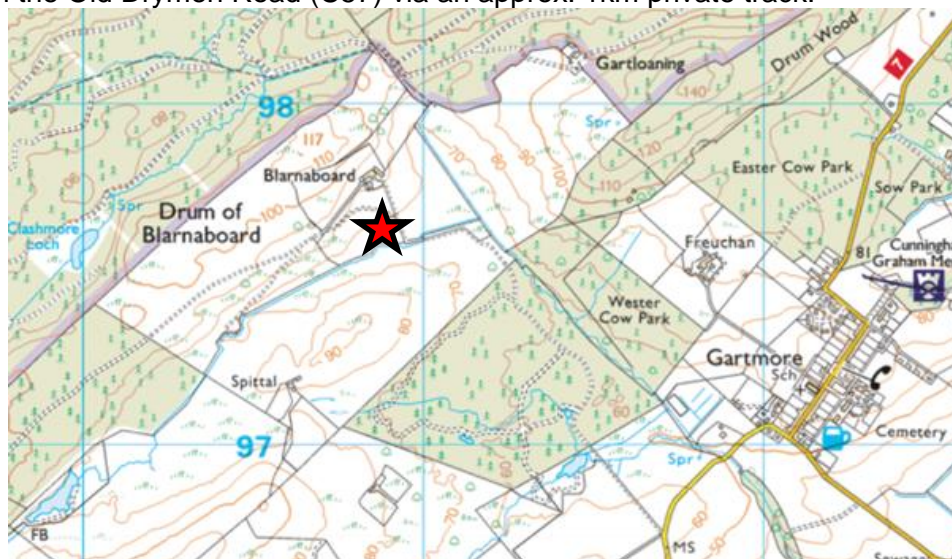
2.1. That Members:

**APPROVE** the application subject to the imposition of the conditions set out in **Appendix 1** of the report.

**3. Background**

**Site Description**

3.1. The application site is a field, currently used as open grazing land, located in a rural location to the north-west of the village of Gartmore. The site is accessed from the Old Drymen Road (C57) via an approx. 1km private track.

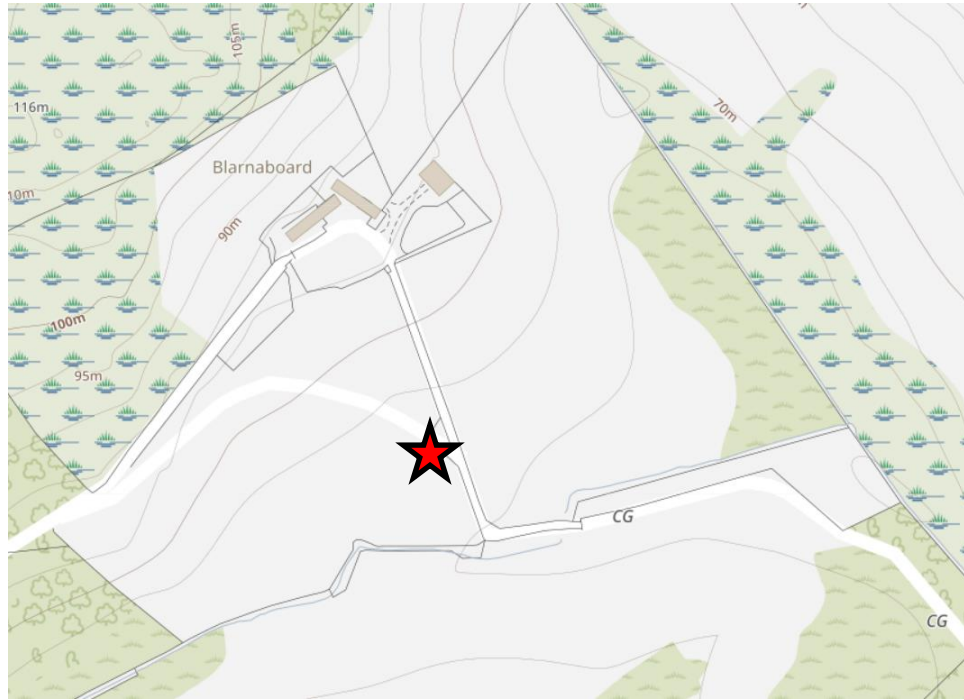


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**Figure 1: Site Location - highlighted with a red star, located to the south of ‘Blarnaboard’ and accessed from the public road via a 1km private track**

## Site Description

- 3.2. The application site shares its rural location with the nearby 'Blarnaboard', a residential property in separate ownership, situated 125 metres to the north of the application site. Blarnaboard comprises of a residential house and agricultural shed. Planning permission was approved in 2022 (ref 2021/0285/HAE) for ancillary accommodation at 'Blarnaboard' to provide for the occupant's housing needs.



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**Figure 2: Site Location at a larger scale – site highlighted with a red star**

- 3.3. The site is located adjacent to an access track spur situated on a level area of land at the southern base of an elevated landform feature named the 'Drum of Blarnaboard'. The land is surrounded to the north and west by extensive woodland comprising part of the Loch Ard Forest. There is a cluster of a coniferous trees, adjacent to the vehicular entrance of the application site.



## Site Description



**Figure 3: Site Location as viewed from the southern approach from the private track to 'Blarnaboard' – site highlighted with a red star**

- 3.4. A manmade bund exists along the eastern boundary of the application site, separating the site from a drainage channel which routes to an unnamed watercourse (60 metres to the south), which is a tributary of the Keltly Water.



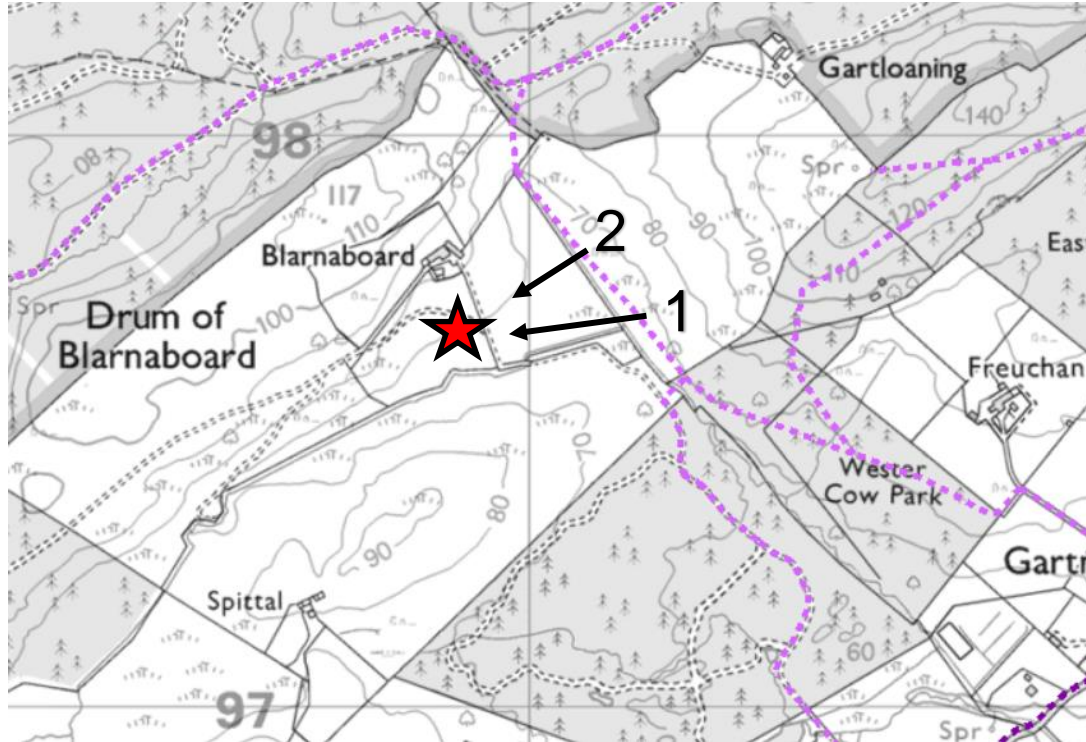
**Figure 4: Bund on eastern boundary of application site**

- 3.5. There is no Core Path at the application site, albeit the access spur to the site is used as an informal walking route. However, a Core Path, providing public access to and from Gartmore village is situated  $\frac{1}{4}$  km to the east of the application site in a slightly elevated position, providing views westwards across the rolling landscape to the hill of Gualann. The Core Path network in the vicinity



## Site Description

of the site is shown in Figure 5 below. Views towards the site, from the Core Path, are shown in Figures 6 and 7 further below.



**Figure 5: Core Path Network shown with purple dashed line. Site location highlighted with red star and viewpoints 1 and 2 highlighted (as referenced in the figures below)**



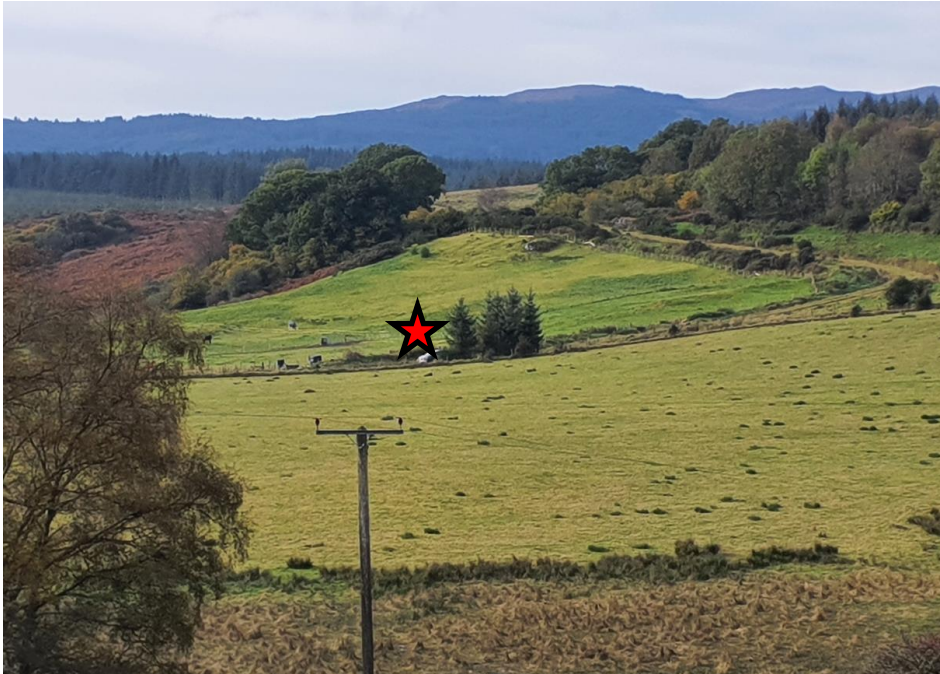
**Figure 6: View No.1 from the Core Path towards the site (Site location highlighted with red star behind group of trees in foreground)**



**Site Description**



**Figure 7: View No.2 from the Core Path towards the site (Site location highlighted with red star)**



**Figure 7: View No.2 from the Core Path towards the site (camera zoomed in and site highlighted with red star)**

## Description of Proposal

- 3.6. Planning permission is sought for the change of use of part of the existing field for private equestrian use and for the erection of a stable building and formation of an exercise area and vehicle parking area to the side. The applicant's case for the stables is to protect the welfare of their horses (particularly during winter) that currently occupy the field, and to comply with their obligations under the Animal Welfare (Scotland) Act 2006.

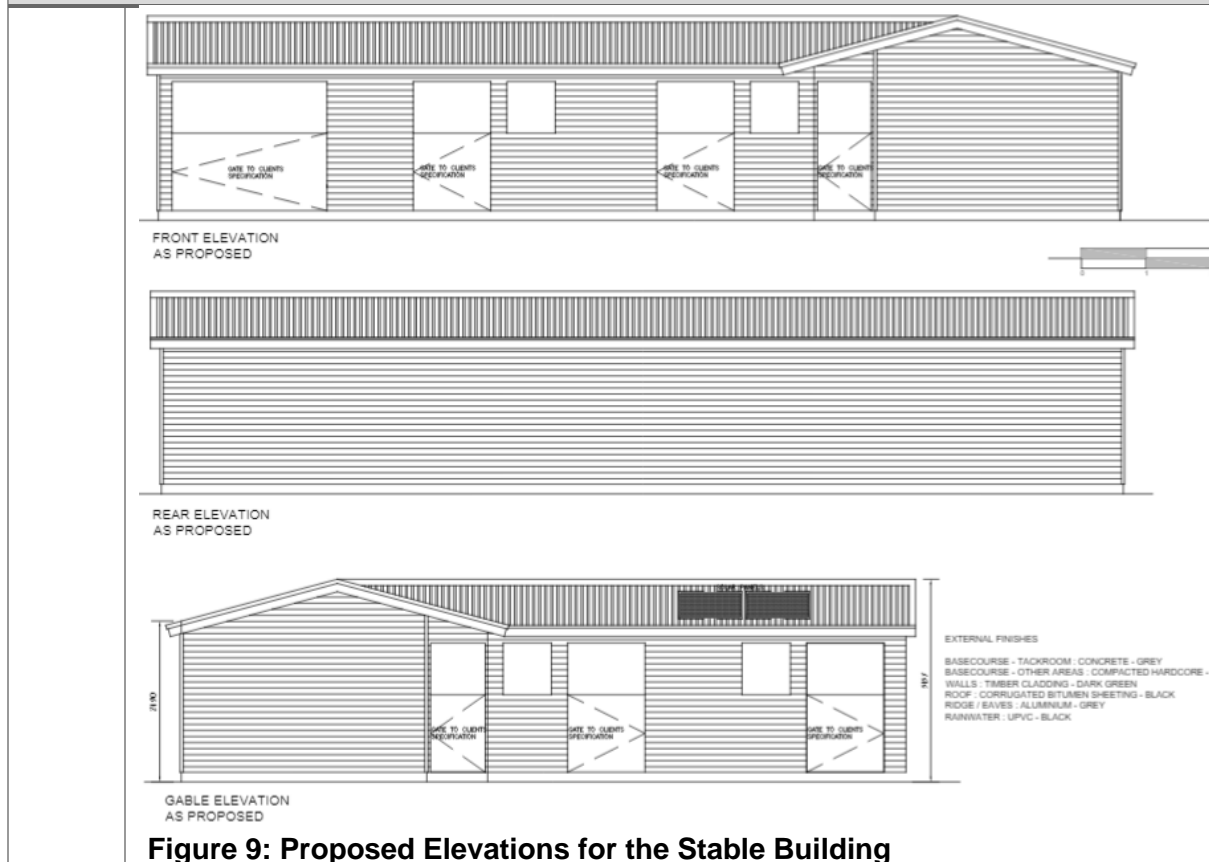


**Figure 8: Proposed Site Plan showing Stable Building, Parking Area and Proposed Planting along boundaries**

- 3.7. The proposed stable building would be of an L-shaped plan, with its longest elevation measuring 15 metres and 11 metres along its shortest elevation. The building height would be 2.4 metres to the eaves and 3.1 metres to the ridge. The orientation of the building relative to the adjacent track and proposed parking area and the proposed planting can be seen in Figure 8 above.

- 3.8. The stable building would be built with a concrete base course, upper walls clad with timber, a corrugated bitumen roof with 2no. small solar panels sited on the roof (see Figure 9 below). A semi-permeable crushed stone surface is proposed for the stable courtyard area and vehicle parking area.

## Description of Proposal



## Planning History

3.9. There is no planning history for this site.

## 4. Environmental impact and habitat regulations assessment

### Environmental Impact Assessment (EIA)

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|------|--|
| 4.1. | The National Park is identified as a 'Sensitive Area' within the Environmental Impact Assessment (Scotland) Regulations 2011. As a 'Competent Body' the National Park Authority has a statutory duty to consider whether proposals for development should be subject to the EIA process. |
| 4.2. | In this instance it has been determined that an Environmental Impact Assessment Report (EIAR) is not required as the proposal is not identified within Schedule 2 of the Regulations.  |



## Habitat Regulations Assessment (HRA)

4.3.	The Habitats Regulations require that where an authority concludes that a development proposal is likely to have a significant effect on a European site (SPA or SAC) it must undertake an Appropriate Assessment (AA) of its implications for the European site in view of the site's conservation objectives.
4.4.	An Appropriate Assessment is not required in this case as the proposed development would not be near to, or impact upon, any European site.

## 5. Consultations and representations

### Responses to Consultations

5.1.	<p><b><u>Gartmore Community Council</u></b> has objected to the proposals. The Community Council's reasons for objecting are:</p> <ul style="list-style-type: none"><li>• Concerns of potential environmental harm from the development through sedimentation and diffuse pollution of the nearby watercourse and water catchment;</li><li>• Concerns of the potential landscape/visual effects of the stables and parking area, as viewed from the nearby Core Path, and conflict with the National Park's first aim;</li><li>• Concerns that archaeological interests may not be sufficiently addressed by planning condition or an employed archaeologist and important finds may be overlooked.</li></ul>
5.2.	<p><b><u>Stirling Council – Roads Authority</u></b> has no objection to the proposals subject to conditions requiring the provision and maintenance of visibility splays and surfacing at the junction of the site's access and the C57 public road.</p>
5.3.	<p><b><u>West Of Scotland Archaeology Service</u></b> recommends that a planning condition be secured, if approved, requiring an archaeological watching brief to be undertaken by a qualified archaeologist during ground disturbance, due to the potential for the survival of sub-surface archaeological material in this area of archaeological interest.</p>

### Representations Received

5.4.	One representation has been received from a Gartmore resident neither objecting nor supporting the proposals but highlighting concerns of the potential landscape/visual effects of the proposed development on the Highland Boundary Fault, as viewed from the nearby Core Path.
5.5.	One representation has been received from a neighbour in support of the proposals on the grounds of animal welfare and citing no objection to the stable building (screened by planting) and that they consider that archaeological matters would be fully addressed.

## Representations Received

5.6.	The full content of the representations is available to view on the <a href="#">National Park Authority's Public Access website</a> . Click on view applications, accept the terms and conditions then enter the search criteria as '2023/0245/DET'.
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## 6. Policy context

### The Development Plan

6.1.	Section 25 of the Town and Country Planning (Scotland) Act 1997 states that planning applications are to be determined in accordance with the Development Plan unless other material considerations indicate otherwise. The Development Plan comprises the National Planning Framework 4 (NPF4), Loch Lomond & The Trossachs National Park Local Development Plan (LDP) (adopted 2016) along with Supplementary Guidance (SG).
6.2.	<p><u><a href="#">National Planning Framework 4 (NPF4) (Feb 2023)</a></u></p> <p><a href="#">NPF4</a> is the fourth National Planning Framework for Scotland. It sets out the Scottish Government's priorities and policies for the planning system up to 2045 and how the approach to planning and development will help to achieve a net zero, sustainable Scotland by 2045. NPF4 supports the achievement of six overarching spatial principles (just transition, conserving and recycling assets, local living, compact urban growth, rebalanced development, and rural revitalisation) through the planning and delivery of sustainable, liveable and productive places. NPF4 contains 33 policies to guide development management decisions. The following NPF4 policies are relevant to this proposal:</p> <ul style="list-style-type: none"> <li>Policy 1 - Tackling the climate and nature crises</li> <li>Policy 2 - Climate mitigation and adaptation</li> <li>Policy 3 - Biodiversity</li> <li>Policy 4 - Natural places</li> <li>Policy 7 - Historic assets and places</li> <li>Policy 9 - Brownfield land, vacant and derelict land and empty buildings</li> <li>Policy 13 - Sustainable transport</li> <li>Policy 14 - Design, quality and place</li> <li>Policy 22 - Flood risk and water management</li> <li>Policy 29 - Rural development</li> </ul>
6.3.	<p><u><a href="#">Local Development Plan (2017-2022)</a></u></p> <p>The <a href="#">Local Development Plan (LDP)</a> sets out the vision for how the National Park should change over the next 20 years. The LDP covers the period from 2017 to 2026 is updated every 5 years.</p> <p>The following LDP Policies are relevant to the determination of this application:</p> <p>OP1 – Overarching Policy 1: Strategic Principles</p>

## The Development Plan

	<p>OP2 – Overarching Policy 2: Development Requirements            TP2 - Transport Policy 2: Promoting Sustainable Travel and Improved Active Travel Options            TP3 - Transport Policy 3: Impact Assessment and Design Standards of New Development            NEP1 - Natural Environment Policy 1: National Park Landscapes, seascape and visual impact            NEP5 - Natural Environment Policy 5: Species and Habitats            NEP6 - Natural Environment Policy 6: Enhancing Biodiversity            NEP11 - Natural Environment Policy 11: Protecting the Water Environment            HEP7 - Historic Environment Policy 7: Other Archaeological Resources</p>
6.4.	<p><u>Supplementary Guidance</u></p> <p>The adopted Supplementary Guidance provides support to the policies of the LDP and carries the same weight in the determination of applications. The Supplementary Guidance of relevance to this application comprises:</p> <ul style="list-style-type: none"> <li>• Design and Placemaking</li> </ul>

## Other Material Considerations

6.5.	<p><u>National Park Aims</u></p> <p>The four statutory aims of the National Park are a material planning consideration. These are set out in Section 1 of the National Parks (Scotland) Act 2000 and are:</p> <ul style="list-style-type: none"> <li>• to conserve and enhance the natural and cultural heritage of the area;</li> <li>• to promote sustainable use of the natural resources of the area;</li> <li>• to promote understanding and enjoyment (including enjoyment in the form of recreation) of the special qualities of the area by the public; and</li> <li>• to promote sustainable economic and social development of the area's communities.</li> </ul> <p>Section 9 of the Act states that these aims should be achieved collectively. However, if in relation to any matter it appears to the National Park Authority that there is a conflict between the first aim, and the other National Park aims, greater weight must be given to the conservation and enhancement of the natural and cultural heritage of the area.</p>
6.6.	<p><u>National Park Partnership Plan (2018-2023)</u></p> <p>All planning decisions within the National Park require to be guided by the Partnership Plan, where they are considered to be material, in order to ensure that they are consistent with the Park's statutory aims. The following outcomes and priorities of the Partnership Plan are relevant.</p> <p>Outcome 1: Natural Capital</p>



## Other Material Considerations

	<p>The Park's natural resources are enhanced for future generations: important habitats are restored and better connected on a landscape scale.</p> <p>Outcome 2: Landscape Qualities The Park's special landscape qualities and sense of place are conserved and enhanced with more opportunities to enjoy and experience them.</p> <p>Outcome 3: Climate Change The natural environment of the Park is better managed to help mitigate and address the impacts of climate change.</p>
6.7.	<u>Local Place Plan/Community Action Plan</u> Gartmore Community Action Plan 2018-2023

## 7. Summary of supporting information

### Supporting Information

7.1.	<p>The applicant has submitted a Planning Statement in support of the planning application which describes the proposed development, the case for development and alternatives explored and concludes with a review of the relevant Development Plan policies. The full content of the applicant's statement is available to view on the <a href="#">National Park Authority's Public Access website</a>. Click on view applications, accept the terms and conditions then enter the search criteria as '2023/0245/DET'.</p>
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## 8. Planning assessment

### Key Issues

8.1.	<p>The key issues for consideration in the determination of this application are:</p> <ul style="list-style-type: none"><li>• Principle of development</li><li>• Landscape/Visual Effects</li><li>• Environmental Effects</li><li>• Roads and Public Access</li><li>• Archaeology</li></ul>
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### Principle of Development

8.2.	<p>The proposal for private equestrian use (on current open grazing land) is commensurate with, and a common use found within, a rural countryside location such as proposed. It is considered that the development would not result in a significant loss of prime agricultural land, would not conflict with adjoining land uses and would be of an appropriate scale and use of land in this</p>
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## Principle of Development

	rural area. The proposal therefore raises no significant issues to justify refusal with regards to NPF4 Policy 9 - <i>Brownfield land, vacant and derelict land and empty buildings</i> or Policy 29 – <i>Rural development</i> . The principle of development of equestrian use raises no policy issues with respect to the provisions of the Local Development Plan.
8.3.	The proposal, of the scale and use proposed, raises no significant policy issues with respect to NPF4 Policy 1 - <i>Tackling the climate and nature crises</i> or Policy 2 – <i>Climate mitigation and adaptation</i> . Notwithstanding this, the applicant proposes a building of low-carbon footprint (through use of mainly recyclable materials, energy and water supply) and proposes new planting (to increase the biodiversity of the site) and to access the site using active travel means where possible.

## Landscape/Visual Effects

8.4.	The proposed development is located in the Special Landscape Quality area of <i>The Trossachs</i> . The proposals are sited between undulating hills in a landscape setting of fields and farms, and in the lower slopes of the Landscape Character Type of <i>Parallel Ridge</i> . There is an existing farm and building to the northeast of this proposal and the larger landscape setting has various agricultural buildings throughout.
8.5.	The application requires to be assessed in consideration the applicable sections of NPF4 Policy 4 <i>Natural Places</i> and the Local Development Plan's Overarching Policies 1 & 2, Natural Environment Policy 1 and the National Park's Design & Placemaking Supplementary Guidance. The following assessment is based on the advice of, and a site visit undertaken alongside, the National Park's Natural Heritage Adviser.
8.6.	The National Park's Natural Heritage Adviser is of the view that the siting, design and form of the proposed development would have a localised effect and although it would present a new feature, when viewed from the nearby elevated Core Path, it could be accommodated within its landscape setting. Therefore, it is considered that that the proposal does not present any significant landscape and/or visual issues for the landscape character, special landscape qualities, viewpoints and visual amenity and that the proposal is acceptable in landscape and visual terms, subject to colour specifications for the timber cladding, controls over external lighting and appropriate random planting along the existing bund and boundaries to assist with integration of the new development.
8.7.	In conclusion, it is considered that, subject to conditions, the proposals would comply with the relevant landscape and visual policies; namely, NPF4 Policy 4 – <i>Natural Places</i> and the Local Development Plan's Overarching Policies 1 & 2, Natural Environment Policy 1 and the National Park's Design & Placemaking Supplementary Guidance. The comments raised by Gartmore Community Council and representations received, on landscape and visual grounds, have been fully taken into account as material considerations, but do not outweigh

## Landscape/Visual Effects

the above qualified advice or policy position. Therefore, it is recommended that there is no justification to refuse the planning application for landscape or visual reasons.

## Environmental Effects

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| 8.8.  | NPF4 Policy 22 – <i>Flood risk and water management</i> and the Local Development Plan’s Natural Environment Policies 11 & 12 seek to manage surface water and protect the water environment from the potential environmental effects of development. The potential environmental effects of such an equestrian use and stable building relate to surface water run-off and diffuse pollution to groundwater or watercourses. Gartmore Community Council has raised concerns in this regard. |
| 8.9.  | It is considered that this small-scale development, and limiting of impermeable surfaces considering the size of the wider site would not result in significant adverse effects through surface water flooding or water quality. However, the applicant’s attention is drawn to these factors and their obligations under SEPA’s General Binding Rules and Pollution Prevention Guidelines, which they have fully acknowledged.  |
| 8.10. | It is considered that adequate measures and safeguards are present, under separate legislation, to ensure that the development would not have an adverse impact on water quality or the natural environment. It is therefore recommended that these separate controls be addressed and highlighted by the Informatives in Appendix 1 further below.  |

## Roads and Public Access

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| 8.11. | The proposal is considered to increase, albeit not significantly, additional vehicle trips along the private track and use of the junction with the Old Drymen Road junction.  |
| 8.12. | The Roads Authority has commented with respect to their jurisdiction over the use of the public road and note that the visibility at the junction with the public road was limited and should achieve at least 2.4m x 90m and the surfacing contained loose stones. Further to the Roads Authority’s comments, the applicant has amended their application site boundary to include the visibility splays, renotified interested parties and has confirmed that maintenance of the visibility splays and sealed surface edge with the public road is achievable and feasible and accepts the terms of the Roads Authority’s recommended planning conditions. |
| 8.13. | Therefore, it is recommended that planning conditions (as per the Roads Authority’s recommendation) can be achieved and are reasonable in all other respects. Subject to these conditions the proposal is considered to provide a  |



## Roads and Public Access

	safe access standard and therefore complies with the relevant sections of NPF4 Policy 13 and Transport Policy 3 of the Local Development Plan.
8.14.	The proposal raises no significant issues with respect to public access and recreation. The applicant has advised, in their Planning Statement that, where possible, non-motorised access will be used to access the site. In conclusion, for this small-scale of development and the anticipated low level of vehicle movements generated by the proposal it is not considered to raise significant issues with respect to the active travel aspirations of NPF4 Policy 13 and Transport Policy 2 of the Local Development Plan.

## Archaeology

8.15.	The National Park's Archaeological Advisers comment that the proposed development has potential to uncover archaeological remains, due to the wealth of historical interest in the surrounding area. The National Park's Archaeological Advisers are satisfied that the development would not raise significant issues and therefore recommend that a watching brief (being the lowest level of archaeological intervention) is justified and would be acceptable. A watching brief would require the applicant to employ a qualified independent archaeologist to undertake a watching brief during ground disturbance with any finds recorded and reported to the National Park's Archaeological Advisers.
8.16.	Gartmore Community Council has questioned the adequacy of the recommended planning condition, citing concerns that archaeological remains could be overlooked during the initial turf/soil stripping to construct the stables building.
8.17.	It is recommended that the inclusion of an appropriate watching brief condition is acceptable and sufficient to address the Community Council's concern. On this basis it is recommended that, subject to the recommended planning condition, to safeguard any potential archaeology, the proposal would accord with NPF4 Policy 7 and Historic Environment Policy 7 of the Local Development Plan and the National Park's first aim, with respect to cultural heritage.

## 9. Conclusion

9.1.	In conclusion, the proposed development, for equestrian use and stables for private enjoyment and animal welfare purposes has been fully considered in light of the provisions of the Development Plan and taking full account of the representations received in support and objection. Overall, this small-scale development, in this location, is considered to be acceptable in principle and, in light of the qualified advice and recommendations of the National Park's Advisers, would, subject to conditions, be an acceptable siting, design and form to not present any adverse effects on the landscape, visual amenity, natural environment, road or public access, or cultural heritage of the National Park. It
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is therefore concluded that the development, subject to the conditions in Appendix 1 of this report, would comply with the relevant provisions of the Development Plan and would collectively accord with the National Park's Aims. It is recommended that the proposal raises no other material considerations that would outweigh the support provided by the Development Plan
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## Appendix 1: Conditions and Informatives

- 1. Duration of Permission:** This permission lapses on the expiration of 3 years beginning from the date of this permission unless the development to which this permission relates is begun before that expiration.

REASON: In accordance with section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

- 2. Restriction on Use:** The stables and associated access and land, as detailed in the plans hereby approved, shall not be used other than for the private equestrian use associated with the applicant's horse husbandry needs, unless otherwise approved in writing by the Planning Authority. For the avoidance of doubt, no commercial equestrian or other material change of use of the application site shall take place at any time, without the prior benefit of planning permission.

REASON: To ensure that other uses are subject to formal control by the Planning Authority in order to safeguard the amenities of the area and to ensure that the private use continues as assessed.

- 3. Archaeological Watching Brief:** The developer shall secure the implementation of an archaeological watching brief, to be carried out by an archaeological organisation acceptable to the Planning Authority, during all ground disturbance. The retained archaeological organisation shall be afforded access at all reasonable times and allowed to record, recover and report items of interest and finds. A method statement for the watching brief will be submitted by the applicant, agreed by the West of Scotland Archaeology Service, and approved by the Planning Authority prior to commencement of the watching brief. The name of the archaeological organisation retained by the developer shall be given to the Planning Authority and to the West of Scotland Archaeology Service in writing not less than 14 days before development commences.

REASON: To ensure that any items of archaeological interest that might be damaged or disturbed by the development are recorded and recovered as necessary for the benefit of the nation. And to accord with NPF4 Policy 7, Historic Environment Policy 7 of the National Park's Local Development Plan and the National Park's first aim, which is to conserve and enhance the cultural heritage of the area.

- 4. Visibility Splays (C57):** The development hereby approved shall not be occupied unless visibility splays of 2.4m x 90m, measured in either direction from the centre of the access, have been provided at the access junction onto the public road (C57). Thereafter, the visibility splays shall remain in perpetuity and within which there should be no obstruction to visibility more than 1.05m above carriageway level.

REASON: In the interests of road safety and to accord with NPF4 Policy 13 and Transport Policy 3 of the Local Development Plan.

- 5. Access Upgrades (C57):** Prior to the commencement of operations from the proposed development, any loose material and detritus within the initial 3m of the access, measured from the edge of the public road, shall be cleared from the access point.

REASON: In the interests of road safety and to accord with NPF4 Policy 13 and Transport Policy 3 of the Local Development Plan.

- 6. External Materials:** The external materials for the stable building shall be implemented as detailed on the approved plans and the hardstanding areas shall be of crushed stone, unless otherwise approved in writing by the Planning Authority. Any preservative, stain or paint to be applied to the external face of the timber, from which the stable building hereby approved is to be constructed, shall be submitted to, and approved in writing by, the Planning Authority and thereafter finished in accordance with the approved details within the first 12 months of the stable building being completed and occupied.

REASON: To safeguard visual amenity of the area and to accord with NPF4 Policy 4 and the Local Development Plan's Overarching Policies 1 & 2, Natural Environment Policy 1 and the National Park's Design & Placemaking Supplementary Guidance.

- 7. External Lighting:** No external lighting shall be installed within the approved site unless with the prior written agreement from the Planning Authority. Prior to their installation full details to include the location, type, angle of direction and wattage [degree of illumination as expressed by Ev and Eh] of the lighting shall be submitted to and agreed in writing by, the Planning Authority.

REASON: In order to avoid light pollution in the interests of the visual amenity and dark skies of the area and to accord with NPF4 Policy 4 and the Local Development Plan's Overarching Policies 1 & 2, Natural Environment Policy 1 and the National Park's Design & Placemaking Supplementary Guidance.

- 8. Finalised Landscape Planting Scheme:** The size, density, locations, numbers and species of planting (as detailed in the approved plan (dwg. no. ref: ArP-845-05 Rev B, received on 20/09/23) shall be modified to randomly plant broom, gorse and hawthorn (to avoid a solid screen of planting) whilst softening the development and integrating it into its existing setting. The modified finalised landscape planting scheme, which shall also confirm retention of the existing bund, shall be submitted in an updated site plan drawing with an associated planting schedule to the Planning Authority within two months of the date of the decision notice and shall be agreed in writing by the Planning Authority. The approved scheme shall then be planted on site in accordance with the approved details, in the first available planting season following the date of the decision notice. Any tree that within a period of five years after planting, dies or, in the opinion of the Planning Authority, becomes seriously damaged or defective shall be replaced with another of the same species and size as originally approved in a timetable to be agreed in writing with the Planning Authority.

REASON: In the interests of replacement tree planting and biodiversity enhancement and to accord with NPF4 Policies 3 and 6 and Natural Environment Policy 8 and 9 of the Local Development Plan.

## Informatives

1. Notification of Initiation of Development - Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the



development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. We recommend this is submitted 2 weeks prior to the start of work. A failure to submit the notice, included in the decision pack, would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.

2. Notification of Completion of Development - As soon as practicable after the development is complete, the person who completes the development is required by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give written notice to the planning authority of the completion of the building works. As before, there is notice for you to complete for this purpose included in the decision pack. In larger, phased developments, a notice of completion is to be submitted as soon as practicable after each phase is finished by the person carrying out the development.
3. Surface Water - Disposal of surface water from the site should comply with General Binding Rules (GBRs) 10 and 11 of The Water Environment (Controlled Activities) (Scotland) Regulations 2005 (as amended). Details of the requirements of these GBRs and Pollution Prevention Guidelines can be found on SEPAs website or from SEPAs Perth Environmental Protection and Improvement Team on 01738 627989. Details of regulatory requirements and good practice advice can be found on SEPA's website at [Water | Scottish Environment Protection Agency \(SEPA\)](#). If you are unable to find the advice you need for a specific regulatory matter, please contact a member of the regulatory team in your local SEPA office at: Balloch Office, Carrochan, Carrochan Road, Balloch G83 8EG (tel no. 01389 727770).